

MARIAN WETSCH CITY HALL

FIFE, WA

EXTERIOR ENVELOPE REPLACEMENT - PHASE 1

CONTRACT DOCUMENTS



Project Title
MARIAN WETSCH CITY HALL
EXTERIOR ENVELOPE REPLACEMENT - PHASE 1
5411 23rd St E
FIFE, WA 98424

Project Numbers
2012-008

Issue & Revision Dates
21 OCTOBER 2016 BID SET

BID SET



THIS PERSPECTIVE IS PROVIDED FOR REFERENCE ONLY AND IS NOT PART OF THE CONTRACT DOCUMENTS



PROJECT LOCATION

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Sheet Title
COVER SHEET

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Sheet Number

G1.00

Sheet Number Of
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GENERAL NOTES

A. GENERAL REQUIREMENTS: IT SHALL BE THE SPECIFIC DUTY AND RESPONSIBILITY OF EACH TRADE AND SUPPLIER TO EXAMINE ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND TO PROVIDE AND FURNISH PROPER EQUIPMENT, HARDWARE, FIXTURES, MATERIALS, LABOR, ETC., PERTAINING TO THEIR PART OF THE WORK SHOWN OR LISTED IN ANY PART OF THE CONTRACT DOCUMENTS. SCHEDULES ARE FOR THE CONVENIENCE OF THE CONTRACTOR TO ASSIST THEM IN UNDERSTANDING AND CONSTRUCTING THE PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL ITEMS IN THE SCHEDULES REFLECT THE PLANS AND DETAILS. ANY OMISSIONS OR CONTRADICTIONS IN THESE DOCUMENTS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE CONTRACTOR'S FINAL BID. THE CONTRACTOR'S FINAL BID SHALL BE CONSIDERED TO INCLUDE ALL ITEMS SHOWN AND/OR SPECIFIED OR SCHEDULED FOR A COMPLETE PROJECT.

B. CONFLICTING INFORMATION: IN THE EVENT OF CONFLICTING INFORMATION WITHIN THE DOCUMENTS, IMMEDIATELY CONTACT THE ARCHITECT FOR CLARIFICATION. PROCEEDING WITHOUT SUCH CLARIFICATION IS AT THE CONTRACTORS RISK AND COST.

C. SCALING DRAWINGS: DO NOT SCALE DRAWINGS; CONTACT ARCHITECT FOR ANY MISSING OR INACCURATE DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK.

D. WALL TYPES: SEE FLOOR PLANS, BUILDING AND WALL SECTIONS FOR WALL TYPE CALLOUTS. SEE A30 SERIES SHEETS FOR EXTERIOR WALL TYPE DESCRIPTIONS AND A32 SERIES SHEETS FOR INTERIOR WALL TYPE DESCRIPTIONS.

E. SIGNAGE DETAILS: SEE A5.00

F. DRAWINGS AND SCHEDULES FORMAT: NOTE: DRAWING SERIES IS LISTED IN ORDER, ALSO SEE SHEET INDEX ON THIS SHEET

(G) SERIES -	GENERAL INFORMATION
	G1.xx GENERAL PROJECT AND DOCUMENT INFORMATION
	G2.xx GENERAL NOTES, ABBREVIATIONS, PROJECT INFORMATION, INDEX
(D) SERIES -	DEMOLITION
	D2.xx DEMOLITION PLANS, ELEVATIONS, AND PHOTOS
(A) SERIES-	ARCHITECTURAL DRAWINGS
	A2.xx FLOOR PLANS
	A5.xx EXTERIOR ELEVATIONS
	A6.xx BUILDING & WALL SECTIONS
	A20.xx FLOOR & FOUNDATION DETAILS
	A31.xx WALL TYPES & DETAILS
	A40.xx EXTERIOR WALL & ROOF DETAILS
	A60.xx DOOR, WINDOW & LOUVER DETAILS
(S) SERIES -	STRUCTURAL DRAWINGS
(E) SERIES -	ELECTRICAL DRAWINGS

G. HAZARDOUS MATERIALS:

1. ALL PRODUCTS AND MATERIALS USED IN THIS PROJECT MUST BE CERTIFIED AS BEING "ASBESTOS FREE," NO EXCEPTIONS.
2. NO PRODUCTS CONTAINING PCB OR OTHER HAZARDOUS MATERIALS SHALL BE USED ON THIS PROJECT. NO EXCEPTIONS.
3. NO PRODUCTS CONTAINING LEAD SHALL BE USED ON THIS PROJECT WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT AND OWNER.

H. DOWN SPOUTS: THE GENERAL CONTRACTOR SHALL COORDINATE ALL DOWNSPOUT LOCATIONS AND CONNECTIONS TO TIGHTLINES AND STORM DRAINAGE SYSTEM(S) (ALSO SEE NOTE ABOVE). THE ARCHITECTURAL PLANS, ELEVATIONS AND DETAILS ILLUSTRATE AND DIMENSION DOWNSPOUT LOCATIONS AND SHALL TAKE PRECEDENCE. ALSO SEE CIVIL DRAWINGS AND SPECIFICATIONS. COORDINATE ALL REQUIRED FOUNDATION BLOCK-OUTS WITH STRUCTURAL AND CIVIL DRAWINGS.

I. FINISH LUMBER SIZES: THE LUMBER SIZES SHOWN FOR WOOD BLOCKING, BACKING, ETC., WILL NOT BE ACTUAL SIZES BUT NOMINAL SIZES. FINISHED TRIM CALLOUTS WILL BE A "NET" DRESSED SIZE, TYP. UNLESS NOTES OTHERWISE.

J. INSULATION SYSTEMS: THERMAL INSULATION IS INTENDED TO PROVIDE A CONTINUOUS INSULATED BUILDING ENVELOPE, AND SHALL BE INSTALLED AS SUCH. SOUND INSULATION IS INTENDED TO PROVIDE A CONTINUOUS ROOM ENVELOPE, AND SHALL BE INSTALLED AS SUCH. IN BOTH CASES, FILL ALL VOIDS IN ASSEMBLIES WITH INSULATION TO PROVIDE A COMPLETE, THOROUGHLY INSULATED ASSEMBLY.

K. VAPOR RETARDER (BARRIER): CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF THE VAPOR RETARDER (BARRIER) MEMBRANE AT THE FLOOR SLAB. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO VAPOR RETARDERS (BARRIERS), OR REPLACE THEM PRIOR TO COVER, AS APPROVED. CONTRACTOR SHALL EXERCISE CARE DURING THE INSTALLATION OF THE VAPOR BARRIER TO PROVIDE SPECIFIED OVERLAP BETWEEN INDIVIDUAL SHEETS AND SHALL TAPE ALL JOINTS. SHOULD THE MATERIAL BE TORN OR PUNCTURED, PATCH BY ADDITION OF MATERIAL OVER AFFECTED AREA WITH AT LEAST 12" COVERAGE BEYOND DAMAGE, AND TAPE ALL JOINTS. ALSO SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

L. AIR BARRIER: A CONTINUOUS AIR BARRIER SHALL BE MAINTAINED AT THE BUILDING'S EXTERIOR MEMBRANE LAYER, AND OR FINISH CEILING WHERE INDICATED. SEE GENERAL NOTES TO THE WALL, ROOF, AND CEILING TYPES AND THE REFLECTED CEILING PLAN GENERAL NOTES FOR MORE INFORMATION. ALL JOINTS, PENETRATIONS, RECESSES, AND CONNECTIONS THROUGH THE AIR BARRIER SHALL BE SEALED AND BE AIR TIGHT IN CONSTRUCTION.

M. WALL OPENINGS: COORDINATE WALL OPENING REQUIREMENTS FOR MECHANICAL DUCTS, PIPES, ETC. AND FOR ELECTRICAL CONDUIT WITH MECHANICAL AND ELECTRICAL DRAWINGS AND PROVIDE AS NEEDED. OPENINGS SHALL BE SIZED ONLY AS NEEDED FOR THESE PENETRATIONS AND SHALL BE SEALED AT EDGES FOR SOUND CONTROL AND FIRE-STOPPED PER SPECIFICATIONS AND BUILDING CODE REQUIREMENTS WHERE REQUIRED, TYP.

N. FIRE SPRINKLER SYSTEM: NO WORK TO FIRE SPRINKLER SYSTEM

O. DEVICE COORDINATION: ARCHITECTURAL DRAWINGS DO NOT ILLUSTRATE ALL MECHANICAL AND ELECTRICAL ITEMS AND DEVICES. ITEMS AND DEVICES WHICH ARE SHOWN ARE FOR COORDINATION AND LOCATING PURPOSES. SEE MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS. LACK OF ILLUSTRATION OF DEVICES AND/OR BUILDING ELEMENTS ON ARCHITECTURAL DRAWINGS DOES NOT EXCLUDE SUCH WORK FROM BID. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS FOR CLARIFICATION. DO NOT PROCEED WITH WORK WITHOUT CLARIFICATION.

GENERAL ABBREVIATIONS

NOTE: ALSO SEE GENERAL NOTES AND SCHEDULES FOR ADDITIONAL SPECIFIC ABBREVIATIONS NOT LISTED HERE. SPECIFIC ABBREVIATIONS IN THE SCHEDULES AND GENERAL NOTES SHALL SUPERCEED THE DEFINITION OF ABBREVIATIONS GIVEN IN THE GENERAL ABBREVIATIONS

@ &	At And
A/C	Air Conditioning
A/V	Audio/Video
AB	Anchor Bolt
AC	Asphalt Concrete
ACP	Acoustical Ceiling Panels
ACT	Acoustical Ceiling Tile
ADA	Americans with Disabilities Act
ADD	Additive
ADD'L	Additional
ADJ	Adjustable
ADMIN	Administration or Administrative
AFF	Above Finish Floor
ALT	Alternate
ALUM	Aluminum
APR	Approximate
ARCH	Architect (ural)
AWP	Acoustical Wall Panel

BLDG	Building
BLKG	Blocking
BLT	Built
BM	Beam
B.O.	Bottom Of
STRUCT	Bottom Of Structure
BOTT	Bottom
C/J	Control Joint
C/L	Centerline
CLG	Ceiling
COJ	Construction Joint
COL	Column
CONC	Concrete
CONST	Construction
CONT	Continuous
COORD	Coordinate
CPT	Carpet

GA	Gauge
GALV	Galvanized
GEJ	Gutter Expansion Joint
GWB	Gypsum Wall Board

DBL	Double
DEMO	Demolition
DIA	Diameter
DIM	Dimension
DS	Downspout/Door Swing
DWG	Drawing

E	East
EA	Each
EB	Expansion Bolt
EJ	Expansion Joint
EL	Elevation
ELEC	Electrical
ELEV	Elevation or Elevator
EPS	Expanded Polystyrene
EQ	Equal
EQP	Equipment
ETC	Et Cetera
EXIST	Existing
EXT	Exterior

FF	Factory Finish
FIO	Furnish & Installed by Owner
FIX	Fixture
FLR	Floor
FND	Foundation
FO	Face of
FOC	Face of Concrete
FOCL	Face of Column
FOIC	Furnished by Owner; Installed by Contractor
FOS	Face of Stud
FOSH	Face of Sheathing
FCP	Fiber Reinforced Cement Panel
FT	Feet or Foot
FTG	Footing
FWAP	Fluid Applied Water Resistant Product

MACH	Machine
MANUF	Manufactured
MAX	Maximum
MB	Machine Bolt
MECH	Mechanical
MED	Medium
MEMB	Membrane
M/E/P	Mechanical/Electrical/Plumbing
MFR	Manufacturer
MIN	Minimum
MISC	Miscellaneous
MTL	Metal

GA	Gauge
GALV	Galvanized
GEJ	Gutter Expansion Joint
GWB	Gypsum Wall Board

H	Height
HC/	Handicap(ped)
HDCP	Handicap(ped)
HM	Hollow Metal
HORZ	Horizontal
HPC	High Performance Coating
HR	Hour
HSS	Hollow Structural Section
HT	Height
HVAC	Heating/Ventilating/Air Conditioning

ID	Inside Diameter
IF	Insulated Float
INCL	Including
INSUL	Insulation
INT	Interior
ISO	Isometric
PT	Pressure Treated
IT	Insulated Tempered
JT	Joint

LBS	Pounds
LE	Latex Enamel
LF	Linear Foot
LOC	Location
LVR	Louver

MACH	Machine
MANUF	Manufactured
MAX	Maximum
MB	Machine Bolt
MECH	Mechanical
MED	Medium
MEMB	Membrane
M/E/P	Mechanical/Electrical/Plumbing
MFR	Manufacturer
MIN	Minimum
MISC	Miscellaneous
MTL	Metal

N	North
N/A	Not Applicable
NIC	Not In Contract
NTS	Not to Scale
O/	Over
OA	Overall
OC	On Center
OD	Overflow Drain or Outside
OPP	Opposite
OS	Outside

PERF	Perforated
PERIM	Perimeter
PJ	Panel Joint
PLYWD	Plywood
PT	Paint(ed) or Point
PT	Pressure Treated
PW	Plywood

QTY	Quantity
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R	Radius or Riser
RB	Rubber Base
RCP	Reflected Ceiling Plan
RD	Roof Drain
REQ'D	Required
REQ'S	Requirements
RECP	Receptacle
REF	Reference
RM	Room
RO	Rough Opening

UNO	Unless Noted Otherwise
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VB	Vapor Barrier
VERT	Vertical
VIF	Verify in Field
W	West
W	Width
W/	With
WD	Wood
WF	Wide Flange
W/O	Without
WP	Waterproof
WR	Water Resistant
WRB	Water Resistant Barrier

S	South
SAM	Self Adheared Water Resistant Membrane
SB	Splash Block
SCHED	Schedule
SF	Store Front
SECT	Section
SHTHG	Sheathing
SM	Similar
SIM	Sheet Metal
SOG	Slab on Grade
SPEC'D	Specified
SPECS	Specifications
SQ	Square
SS	Stainless Steel
SSD	See Structural Drawings
ST	Stain
STD	Standard
STRUCT	Structural

T&G	Tongue and Groove
THK	Thick
T.O.	Top of
TOB	Top of Beam
TOP	Top of Parapet
TOPL	Top of Plate
TOS	Top of Slab or Top of Steel
TOW	Top of Wall
TYP	Typical

UNO	Unless Noted Otherwise
VB	Vapor Barrier
VERT	Vertical
VIF	Verify in Field

W	West
W	Width
W/	With
WD	Wood
WF	Wide Flange
W/O	Without
WP	Waterproof
WR	Water Resistant
WRB	Water Resistant Barrier

CHAPTER 33 SAFEGUARDS DURING CONSTRUCTION

3302.1 ALTERATIONS, REPAIRS, AND ADDITIONS. REQUIRED EXITS, EXISTING STRUCTURAL ELEMENTS, FIRE PROTECTION DEVICES AND SANITARY SAFEGUARDS SHALL BE MAINTAINED AT ALL TIMES DURING ALTERATIONS, REPAIRS OR ADDITIONS TO ANY BUILDING OR STRUCTURE.

EXCEPTIONS:

1. WHERE SUCH REQUIRED ELEMENTS OR DEVICES ARE BEING ALTERED OR REPAIRED, ADEQUATE SUBSTITUTE PROVISIONS SHALL BE MADE

3302.2 MANNER OF REMOVAL. WASTE MATERIALS SHALL BE REMOVED IN A MANNER THAT PREVENTS INJURY OR DAMAGE TO PERSONS, ADJOINING PROPERTIES AND PUBLIC RIGHTS-OF-WAY.

3302.3 FIRE SAFETY DURING CONSTRUCTION. FIRE SAFETY DURING CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THIS CODE AND THE APPLICABLE PROVISIONS OF CHAPTER 33 OF THE INTERNATIONAL FIRE CODE.

3303.2 PEDESTRIAN PROTECTION. THE WORK OF DEMOLISHING ANY BUILDING SHALL NOT BE COMMENCED UNTIL PEDESTRIAN PROTECTION IS IN PLACE AS REQUIRED BY THIS CHAPTER.

3303.7 FIRE SAFETY DURING CONSTRUCTION. FIRE SAFETY DURING DEMOLITION SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THIS CODE AND THE APPLICABLE PROVISIONS OF CHAPTER 56 OF THE INTERNATIONAL FIRE CODE.

3306.1 PROTECTION REQUIRED. PEDESTRIANS SHALL BE PROTECTED DURING CONSTRUCTION, REMODELING AND DEMOLITION ACTIVITIES AS REQUIRED BY THIS CHAPTER AND TABLE 3306.1. SIGNS SHALL BE PROVIDED TO DIRECT PEDESTRIAN TRAFFIC.

3310.2 MAINTENANCE OF MEANS OF EGRESS. REQUIRED MEANS OF EGRESS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION, DEMOLITION, REMODELING OR ALTERATIONS TO ANY BUILDING.

SCOPE OF WORK

THE PROJECT ENTAILS SUBSTANTIAL REMOVAL AND REPLACEMENT OF EXTERIOR AND INTERIOR ENVELOPE AND FINISH COMPONENTS OF THE COUNCIL CHAMBER WING OF THE CITY HALL FACILITY AND INCLUDING FUNGAL ABATEMENT, DUE TO WATER INTRUSION DAMAGE.

THE EXISTING CEMENT STUCCO SIDING AND ITS COMPONENTS HAVE ALLOWED MOISTURE INGRESS AT SELECT BUILDING AREAS. AS A RESULT, SOME FUNGAL GROWTH HAS OCCURRED. THE MAIN ELEMENTS OF THE WORK TO BE DONE AT THE COUNCIL CHAMBER WING ARE:

- REMOVE THE EXISTING CEMENT STUCCO SIDING
- REMOVE AND REPLACE PORTIONS OF THE EXISTING PLYWOOD SHEATHING
- WOOD STUD FRAMING REPAIR
- SOME SILL PLATE REMOVAL AND REPLACEMENT
- SOME HOLDOWN REMOVAL AND REPLACEMENT
- SOME EXISTING TRUSS REPAIR
- SOME GYPSUM WALLBOARD REMOVAL AND REPLACEMENT
- SOME INTERIOR FINISHES REMOVAL AND REPLACEMENT
- REMOVAL AND REINSTALLATION OF WINDOWS, DOORS, AND LOUVERS

NEW EXTERIOR ENVELOPE INCLUDES:

- FIBER CEMENT PANEL SIDING (RAINSCREEN)
- STANDING SEAM METAL SIDING
- CEDAR SIDING (RAINSCREEN)

OTHER PROJECT ELEMENTS INCLUDES:

- EXTERIOR BUILDING SIGN
- MINOR ELECTRICAL WORK
- PLASTIC GLAZING
- ACOUSTIC WALL PANELS

SHEET INDEX	
SHEET NUMBER	SHEET NAME

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G2.00	SHEET INDEX & NOTES
G3.00	SITE SAFETY PLAN
D2.00	DEMOLITION FLOOR PLAN
D2.01	DEMOLITION IMAGE COORDINATION
A2.00	FLOOR PLAN
A5.00	ELEVATIONS
A6.00	WALL SECTIONS
A8.00	INTERIOR ELEVATIONS
A31.00	WALL TYPES
A40.00	PLAN VIEW WALL DETAILS
A40.01	SECTION VIEW WALL DETAILS
A60.00	WINDOW INSTALL SEQUENCING
A60.01	WINDOW DETAILS
A60.02	LOUVER & PANEL DETAILS
S0.01	STRUCTURAL NOTES
S1.01	ELEVATIONS
S2.01	FOUNDATION DETAILS
S2.02	WALL FRAMING DETAILS
E1	ELECTRICAL PLAN



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SHEET INDEX & NOTES

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Sheet Title
SITE SAFETY PLAN

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SITE PLAN LEGEND



AREA OF WORK



TEMPORARY PROTECTION TUNNEL, SEE SPECS



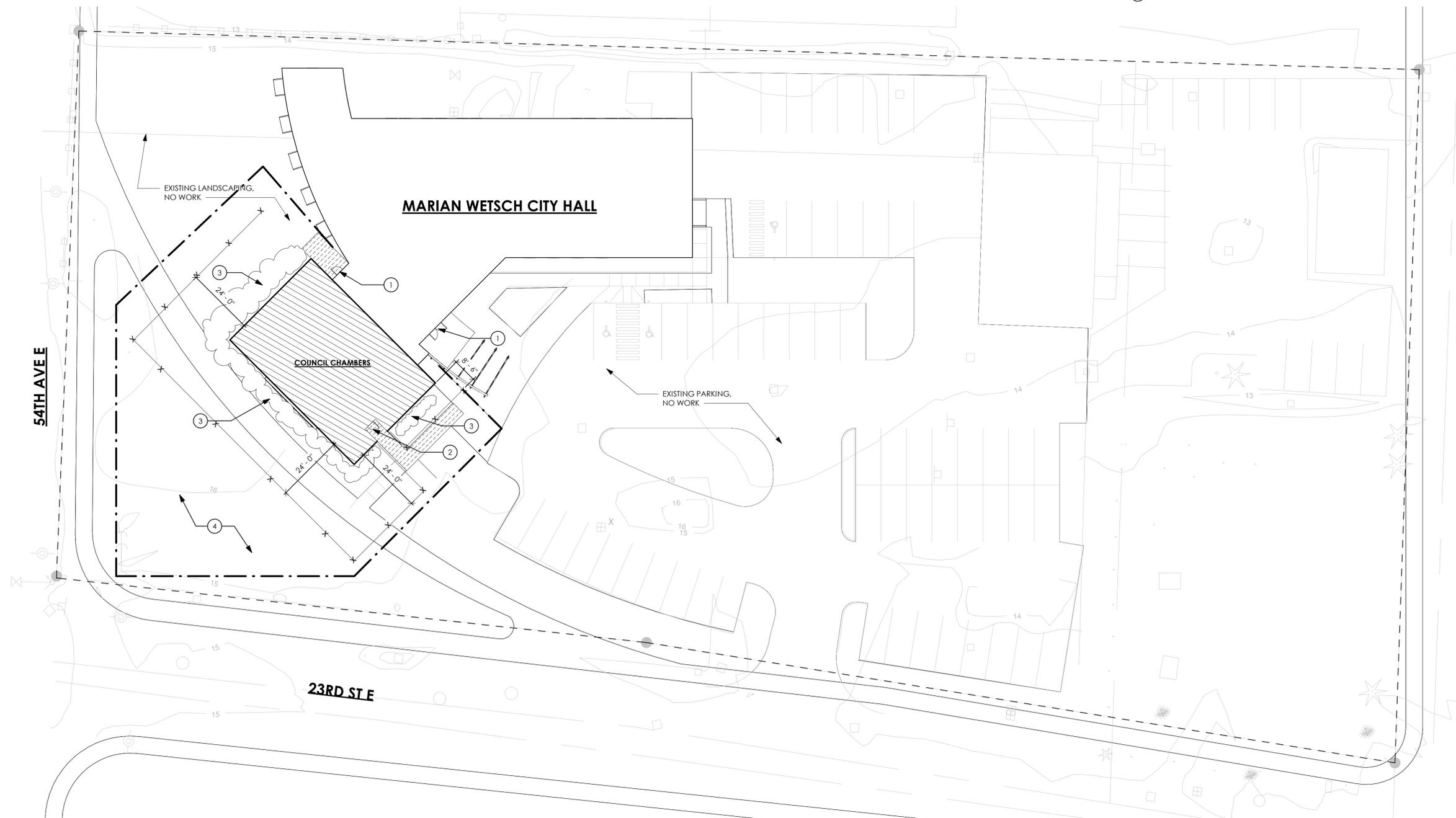
TEMPORARY FENCING, SEE SPECS



LIMITS OF CONTRACTOR LAYDOWN AREA

KEYNOTE

- ① NO CONTRACTOR ACCESS WITHOUT PRIOR OWNER'S AUTHORIZATION
- ② CONTRACTOR MAIN INTERIOR ACCESS POINT
- ③ REMOVE SHRUBBERY AND REPLACE/REPAIR MULCH BED. NEW PLANTING NIC.
- ④ REPAIR ALL GRASS DAMAGED DURING CONSTRUCTION



① **SITE PLAN**
1" = 20'-0"





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Sheet Title
DEMOLITION FLOOR PLAN

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Sheet Number

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DEMOLITION GENERAL NOTES

- A. THESE PLANS DELINEATE THE BASIC SCOPE OF WORK FOR THE REMOVAL OF EXISTING MATERIAL. THE DEMOLITION DRAWINGS AND NOTES ARE PROVIDED TO GENERALLY DESCRIBE AREAS AND LIMITS OF WORK. THE CONTRACTOR IS RESPONSIBLE TO REVIEW & COORDINATE THE VARIOUS DISCIPLINES, THE EXISTING BUILDING CONDITIONS AND COORDINATE WITH ALL SUBCONTRACTORS TO PROVIDE ALL ASSOCIATED DEMOLITION, PATCHING AND REPAIR ASSOCIATED WITH THE WORK OF THIS PROJECT. THE DRAWINGS GENERALLY ILLUSTRATE THE DEMOLITION, PATCHING AND REPAIR REQUIRED, BUT IT IS THE CONTRACTOR'S RESPONSIBILITY TO FULLY ASCERTAIN THE FINAL SCOPE WITHIN THE ILLUSTRATED INTENT, AND INCLUDE ALL SUCH COSTS IN THE BID.
- B. COORDINATION OF THESE DEMOLITION DRAWINGS WITH OTHER DRAWINGS IS THE RESPONSIBILITY OF THE CONTRACTOR. ADDITIONAL INFORMATION ON DEMOLITION IS PROVIDED IN THE SPECIFICATIONS, MOLD REMEDIATION PLANS & SPECIFICATIONS, AND OTHER DISCIPLINES' DRAWINGS. COORDINATION OF ALL WORK IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. DISCREPANCIES BETWEEN OR WITHIN THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- C. ITEMS NOTED FOR REMOVAL AND REINSTALLATION, OR SALVAGED ITEMS FOR THE OWNER SHALL BE CAREFULLY REMOVED, CATALOGED, STORED, PROTECTED AND HANDLED WITH SPECIAL CARE AS DESCRIBED IN THE SPECIFICATIONS.
- D. SEE REMAINDER OF 'D' SERIES DRAWINGS; AND OTHER DISCIPLINES DRAWINGS FOR ADDITIONAL WORK & NOTES.
- E. PROTECT ALL EXISTING MATERIALS TO REMAIN AND IMMEDIATELY REPAIR ANY DAMAGE TO LIKE NEW CONDITION.
- F. WHERE ARCHITECTURAL DEMOLITION DRAWINGS INDICATE WORK RELATED TO OTHER DISCIPLINES WORK, (MECHANICAL, ELECTRICAL, MOLD REMEDIATION, ETC.) IT IS NOTED TO ASSIST IN COORDINATION OF WORK AND IS NOT INTENDED TO DEFINE WHICH TRADE IS RESPONSIBLE FOR SAID WORK. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE RESPONSIBILITY FOR DEMOLITION BY EACH DISCIPLINE.
- G. SEE ELECTRICAL DRAWINGS FOR UTILITY CAPPING AND STUBBING, AND INSTRUCTIONS FOR ABANDONING OR REMOVING/REINSTALLING EXISTING UTILITIES.
- H. WHEREVER ITEMS ARE DEMOLISHED OR REMOVED (INCLUDING MECHANICAL AND ELECTRICAL ITEMS), PATCH REMAINING SURFACES TO MATCH EXISTING, WHETHER SO NOTED OR NOT. COORDINATE WITH MECHANICAL, ELECTRICAL AND ALL OTHER DRAWINGS AND SPECIFICATIONS.
- I. FOR NEW CONDITIONS THAT TIE INTO EXISTING SEE SERIES A31.00, A40.00 SERIES & A60.00 SERIES.
- J. CONTRACTOR SHALL REMOVE ALL DEBRIS, MATERIALS AND OTHER ITEMS STORED IN CRAWLSPACES. COORDINATE WITH OWNER TO DETERMINE RELOCATION OF STORED ITEMS. DISPOSE OF ITEMS DEEMED NON-SALVAGABLE OR AT THE END OF THEIR USEFUL LIFE PER SPECIFICATIONS.
- K. ALL DIMENSIONS AND SIZES GIVEN REGARDING EXISTING CONDITIONS ARE BASED UPON ARCHITECT'S FIELD REVIEW AND FROM INFORMATION PROVIDED IN CONSTRUCTION DRAWINGS FROM PAST PROJECTS WHERE AVAILABLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM AND VERIFY ALL EXISTING ELEVATIONS, DIMENSIONS AND CLEARANCES PRIOR TO GENERATION OF SHOP DRAWINGS AND COMMENCING WORK.
- L. FOR KNOWN STRUCTURAL FRAMING DEMOLITION EXTENTS & FOR BASE BID QUANTITIES OF DEMOLITION & REPAIR, SEE STRUCTURAL DRAWINGS & BID FORM.
- M. OWNER WILL REMOVE ALL FURNISHINGS AND MISCELLANEOUS ITEMS FROM CONTRACTOR'S WORK AREA, UNLESS NOTED OTHERWISE.
- N. WINDOWS/LOUVERS/DOORS: CAREFULLY REMOVE ALL WINDOWS, LOUVERS, AND DOORS AT EXTERIOR WALLS WITHIN WORK AREA, AND STORE FOR REUSE. CONFIRM CONDITION WITH OWNER & CLEAN WINDOWS PRIOR TO REINSTALLATION.
- O. SEE FUNGAL ABATEMENT SPEC FOR WORK REQUIRED FOR MOLD ABATEMENT.
- P. PROTECT EXISTING CARPET FROM DUST AND DAMAGE DURING CONSTRUCTION.
- Q. TAKE PRECAUTIONS TO ENSURE BUILDING OCCUPANT SAFETY DURING ALL BUILDING DEMOLITION ACTIVITIES.

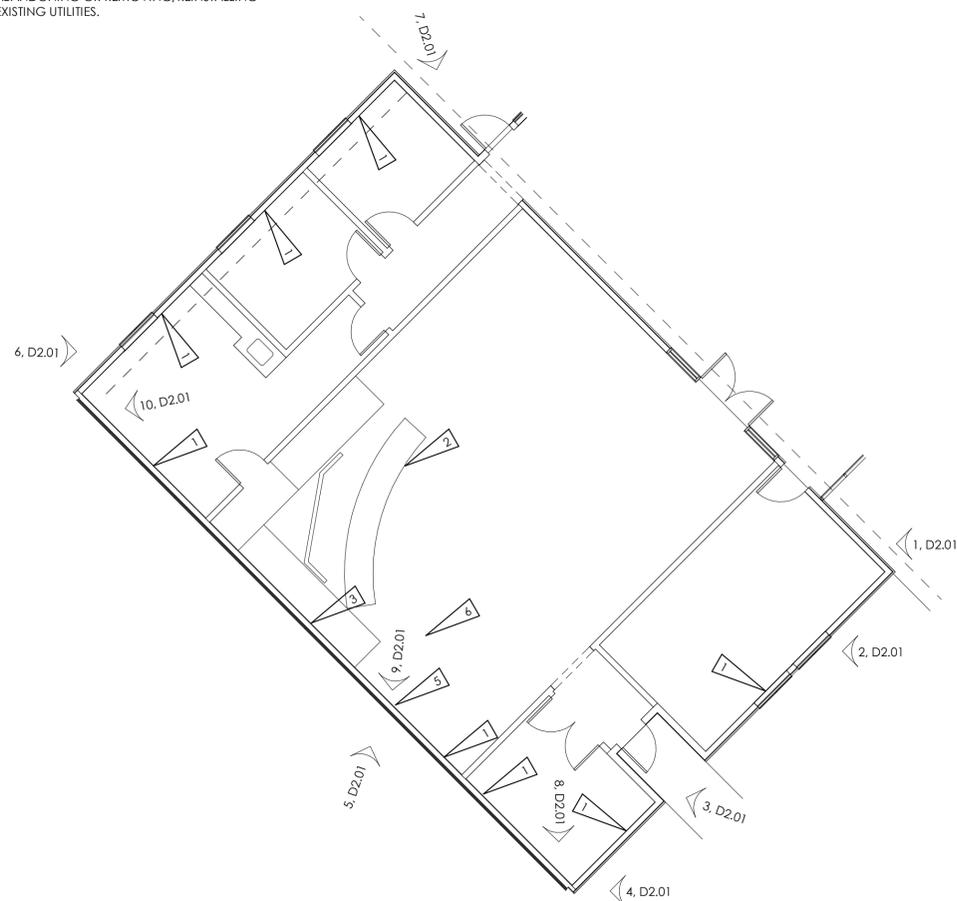
DEMOLITION PLAN FLAG NOTES

- 1 REMOVE GWB INCLUDING JAMBS, SILLS, AND HEADS AT WINDOWS. REMOVE BASE TRIM
- 2 COVER & PROTECT ALL COUNCIL DIAS CASEWORK FROM DUST & DAMAGE
- 3 REMOVE MINIMUM CARPET & FLOOR SHEATHING TO EXPOSE BOTTOM OF WALL AT RAISED FLOOR
- 4 NOT USED.
- 5 REMOVE ACOUSTIC WALL PANELS
- 6 REMOVE & SALVAGE PROJECTOR SCREEN

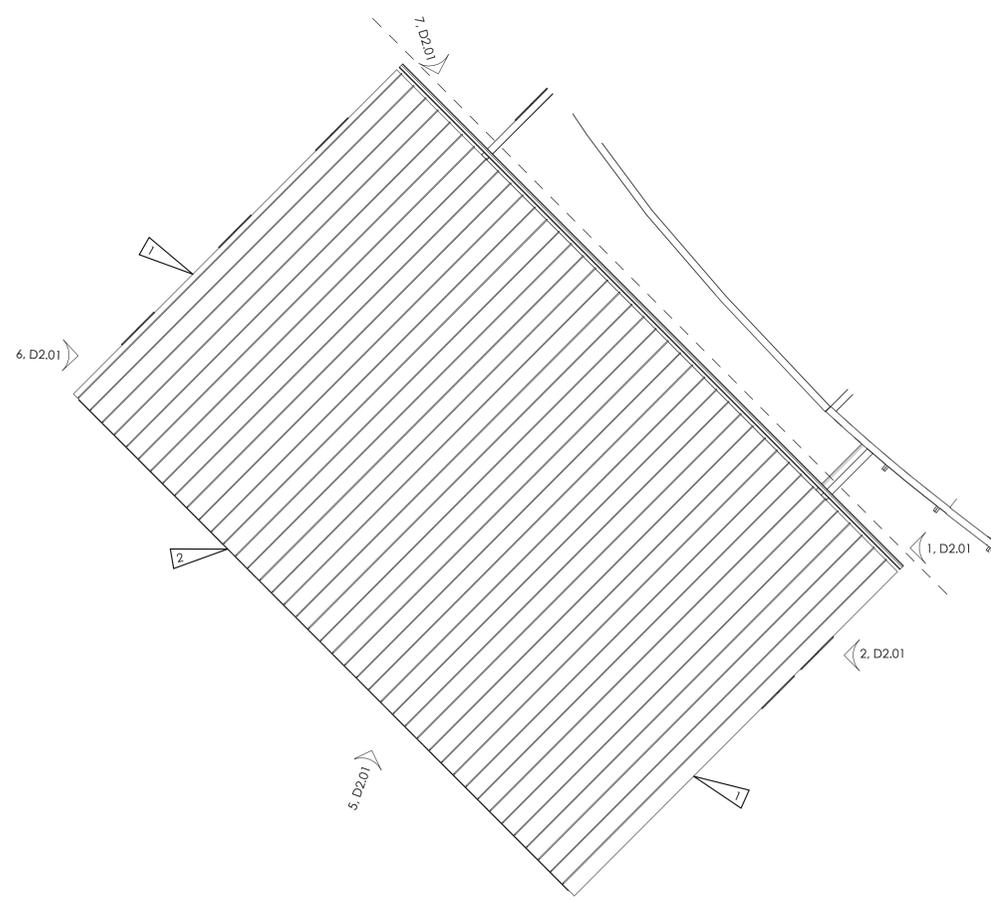
DEMOLITION ROOF PLAN FLAGNOTES

- 1 DEMO RAKE FLASHING
- 2 DEMO PEAK FLASHING

SEE D2.01 FOR ELEVATION DEMO PHOTOGRAPHS REFERENCED ON THE DEMO FLOOR PLAN



1 DEMO FLOOR PLAN
1/8" = 1'-0"



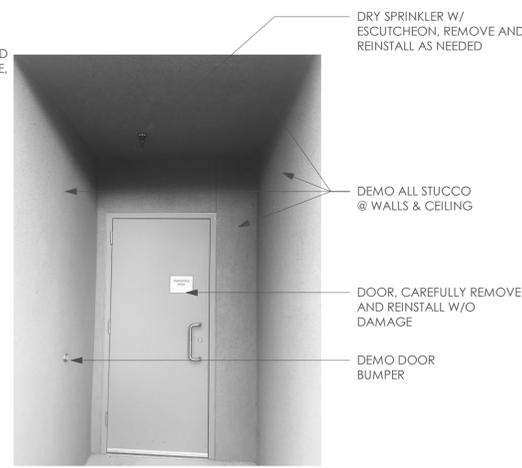
2 DEMOLITION ROOF PLAN
1/8" = 1'-0"



1 EAST CORNER



2 SOUTHEAST WALL



3 SIDE DOOR NICHE



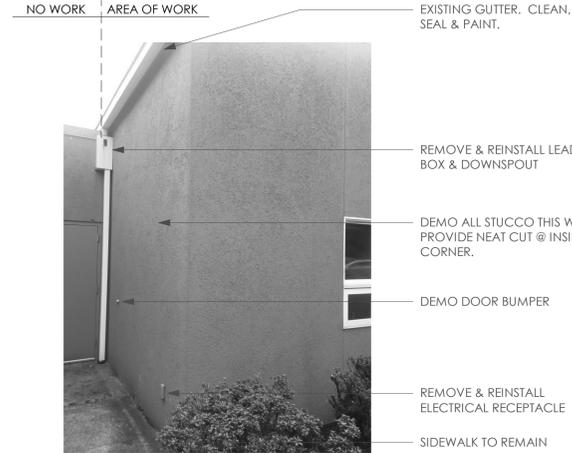
4 AC UNIT



5 SOUTHWEST WALL



6 NORTHWEST WALL



7 NORTH CORNER



8 SOUTH WEST WALL - STORAGE ROOM



9 SOUTH WEST WALL - COUNCIL CHAMBER



10 SOUTH WEST WALL - WORK ROOM



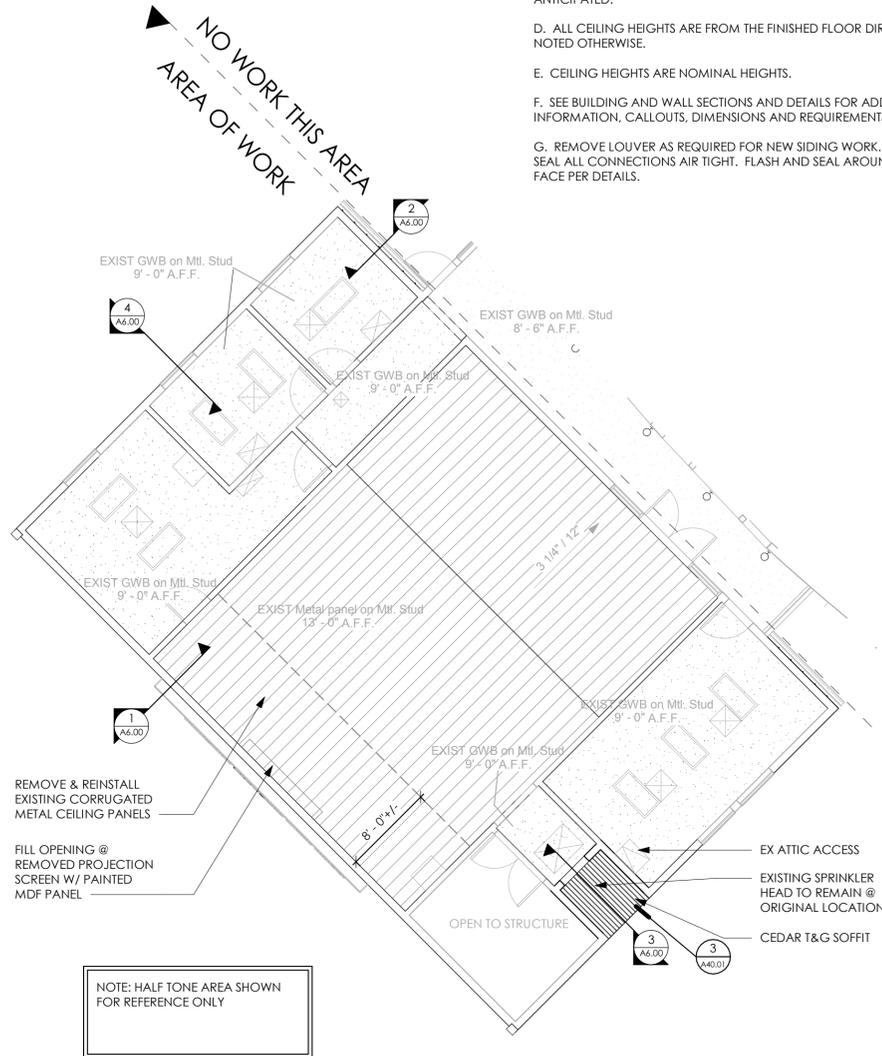
11 SOUTH WALL - COUNCIL CHAMBER



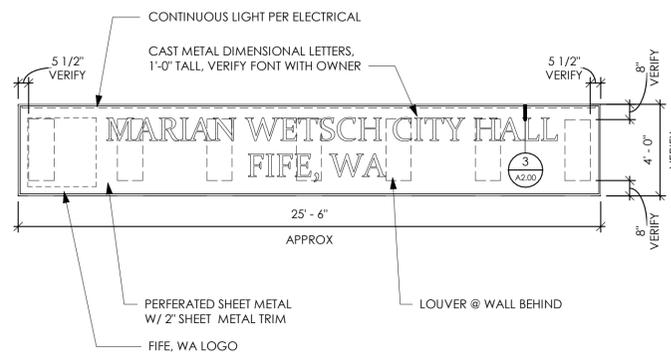
12 SOUTH WEST WALL - WORK ROOM

REFLECTED CEILING PLAN GENERAL NOTES

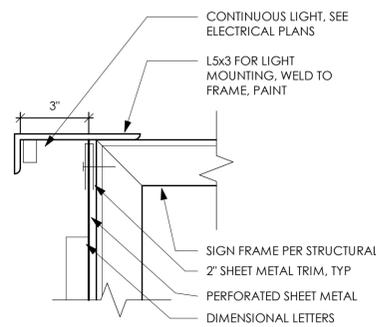
- A. SEE SHEET G2.00 FOR GENERAL NOTES
- B. GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF THE APPLICABLE TRADES TO PROVIDE PROPER LOCATIONS AND INSTALLATION OF CEILING ELEMENTS AND SYSTEMS, AS APPROVED BY THE ARCHITECT.
- C. MECHANICAL AND ELECTRICAL INFORMATION SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS IS FOR REFERENCE ONLY. NO CEILING WORK IS ANTICIPATED.
- D. ALL CEILING HEIGHTS ARE FROM THE FINISHED FLOOR DIRECTLY BELOW, UNLESS NOTED OTHERWISE.
- E. CEILING HEIGHTS ARE NOMINAL HEIGHTS.
- F. SEE BUILDING AND WALL SECTIONS AND DETAILS FOR ADDITIONAL CEILING INFORMATION, CALLOUTS, DIMENSIONS AND REQUIREMENTS.
- G. REMOVE LOUVER AS REQUIRED FOR NEW SIDING WORK. UPON REINSTALLATION, SEAL ALL CONNECTIONS AIR TIGHT. FLASH AND SEAL AROUND LOUVER ON EXTERIOR FACE PER DETAILS.



1 REFLECTED CEILING PLAN
1/8" = 1'-0"



2 Sign Detail - Elevation
1/4" = 1'-0"



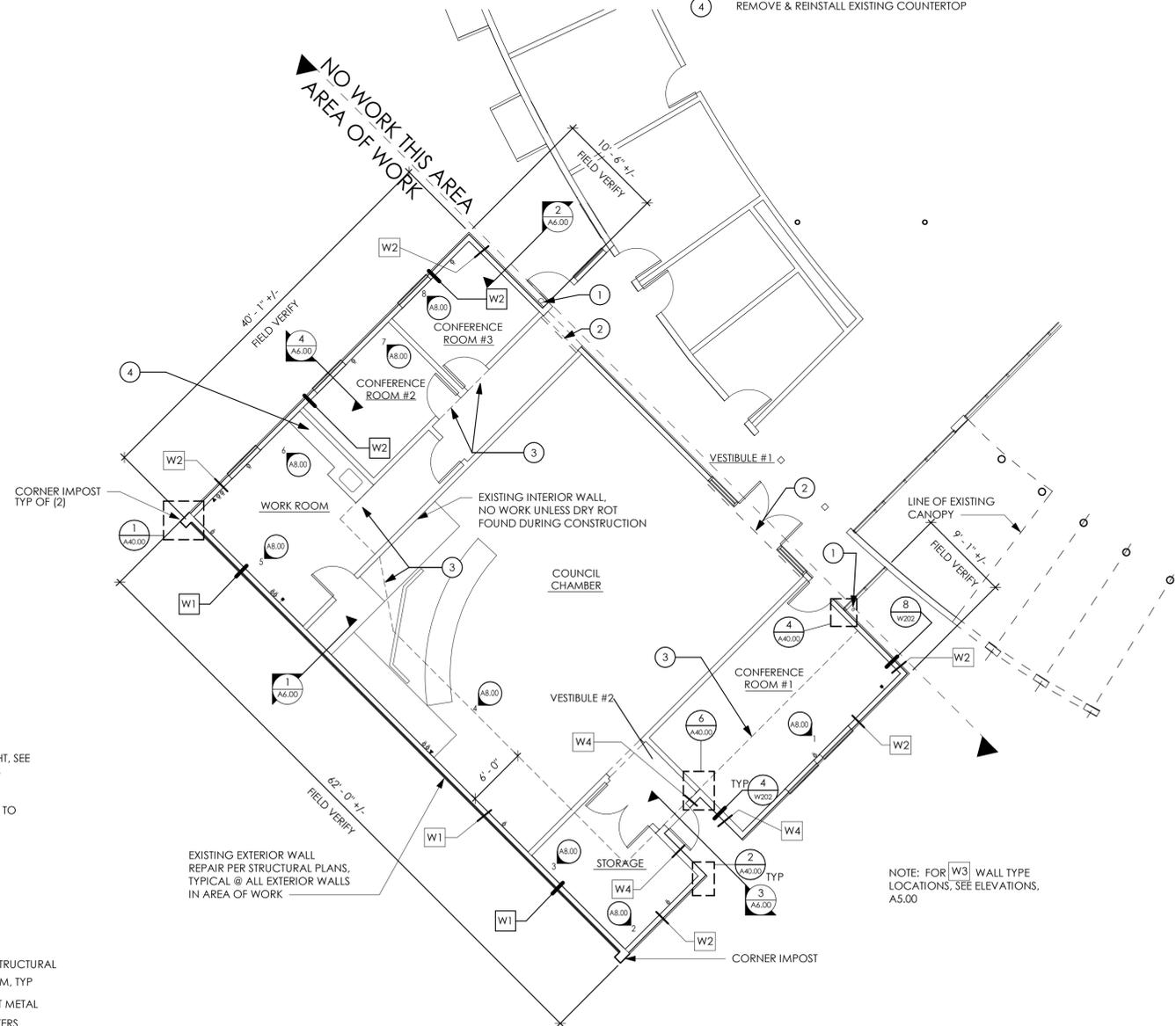
3 SIGN TOP EDGE DETAIL
3" = 1'-0"

FLOOR PLAN GENERAL NOTES

- A. SEE GENERAL NOTES ON SHEET G2.00 FOR ADDITIONAL INFORMATION.
- B. ALL DIMENSIONS TO EXTERIOR WALLS ARE TO FACE OF SHEATHING.
- C. VERTICAL HEIGHTS ON ARCHITECTURAL DRAWINGS: TOP OF CONCRETE FLOOR SLAB, (MAY ALSO BE NOTED AS TOP OF FINISH FLOOR), IS GENERALLY REFERENCED AS ELEVATION 0' - 0" FOR THE MAIN FLOOR LEVEL.
- D. REFER TO SHEETS SERIES A31 FOR WALL TYPES.
- E. THERMAL AND SOUND INSULATION IS INTENDED TO PROVIDE A CONTINUOUS ENVELOPE.
- F. IN THE EVENT OF CONFLICTING INFORMATION WITHIN THE DOCUMENTS, IMMEDIATELY CONTACT THE ARCHITECT FOR CLARIFICATION. PROCEEDING WITHOUT SUCH CLARIFICATION IS AT THE CONTRACTORS RISK & COST.
- G. THE GENERAL CONTRACTOR SHALL COORDINATE ALL DOWNSPOUT LOCATIONS AND CONNECTIONS TO TIGHTLINES.
- H. VAPOR RETARDER (BARRIER): BACKER ROD, SEALANT, AND OTHER APPROVED MEANS SHALL BE APPLIED CONTINUOUSLY AROUND ALL EXTERIOR DOOR AND WINDOW OPENINGS AND OTHER AREAS OF POTENTIAL AIR INFILTRATION, INCLUDING STRUCTURAL, MECHANICAL, AND ELECTRICAL PENETRATIONS. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO VAPOR RETARDER(S) (BARRIERS), OR REPLACE THEM PRIOR TO COVER, AS APPROVED. CONTRACTOR SHALL EXERCISE CARE DURING THE INSTALLATION OF THE VAPOR BARRIER TO PROVIDE SPECIFIED OVERLAP BETWEEN INDIVIDUAL SHEETS AND SHALL TAPE ALL JOINTS. SHOULD THE MATERIAL BE TORN OR PUNCTURED, PATCH BY ADDITION OF MATERIAL OVER AFFECTED AREA WITH AT LEAST 12" COVERAGE BEYOND DAMAGE, AND TAPE ALL JOINTS. ALSO SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- I. DO NOT SCALE DRAWINGS: CONTACT ARCHITECT FOR ANY NEEDED CLARIFICATION.
- J. COORDINATE LOCATION OF SIGN WITH EXTERIOR ELEVATIONS.
- K. COORDINATE WALL OPENING REQUIREMENTS FOR MECHANICAL DUCTS, PIPES, ETC., AND FOR ELECTRICAL CONDUIT WITH MECHANICAL AND ELECTRICAL DRAWINGS AND PROVIDE AS NEEDED. OPENINGS SHALL BE SIZED ONLY AS NEEDED FOR THESE PENETRATIONS AND SHALL BE SEALED AT EDGES FOR SOUND CONTROL REQUIREMENTS WHERE REQUIRED, TYP.
- L. REFER TO STRUCTURAL PLANS FOR DETAILS REGARDING WOOD FRAMING COMPONENT REPAIR/REPLACEMENT DUE TO DRY ROT.
- M. NO INTERIOR WORK EXCEPT @ EXTERIOR WALL UNO

KEYNOTES

- 1 EXISTING DOWNSPOUT, REMOVE & REINSTALL
- 2 PROVIDE ACCESS & SIGHT OBSCURING BARRIER
- 3 PROVIDE FLOOR TO CEILING AIRTIGHT BARRIER, SEE FUNGAL ABATEMENT SPEC FOR REQUIREMENTS
- 4 REMOVE & REINSTALL EXISTING COUNTERTOP



4 FLOOR PLAN
1/8" = 1'-0"



Project Title
MARIAN WETSCH CITY HALL
EXTERIOR ENVELOPE REPLACEMENT - PHASE 1
5411 23rd St E
FIFE, WA 98424

Project Numbers
2012-008

Issue & Revision Dates
21 OCTOBER 2016 BID SET

BID SET

Sheet Title
FLOOR PLAN

Drawn By JDS Checked By SO

Sheet Number

A2.00

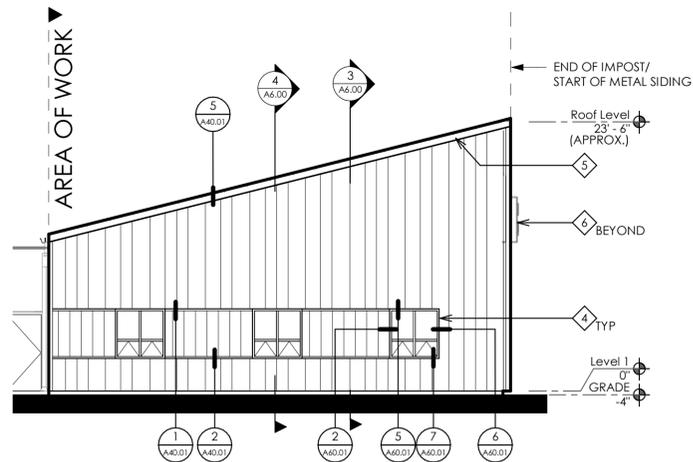
Sheet Number Of
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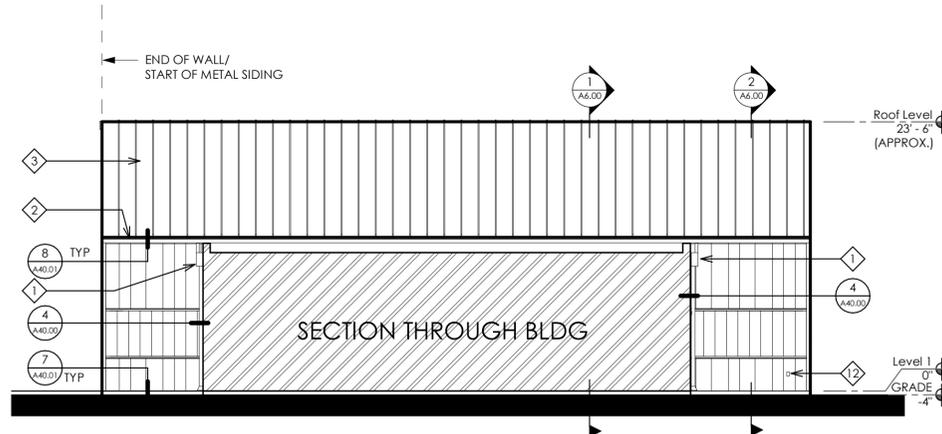
EXTERIOR ELEVATIONS GENERAL NOTES

- A. OTHER NOTES: SEE SHEET G2.00 FOR GENERAL NOTES AND ABBREVIATIONS FOR ADDITIONAL INFORMATION
- B. WALL DETAILS: SEE A40 & A60 SERIES SHEETS, INCLUDING, BUT NOT LIMITED TO PANEL JOINTS, INSIDE & OUTSIDE CORNERS, HEAD & SILL TRANSITIONS.
- C. ARCHITECTURAL DRAWINGS DO NOT ILLUSTRATE ALL MECHANICAL AND ELECTRICAL ITEMS AND DEVICES. ITEMS AND DEVICES WHICH ARE SHOWN ARE FOR COORDINATION AND LOCATING PURPOSES. SEE MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS FOR CLARIFICATION.

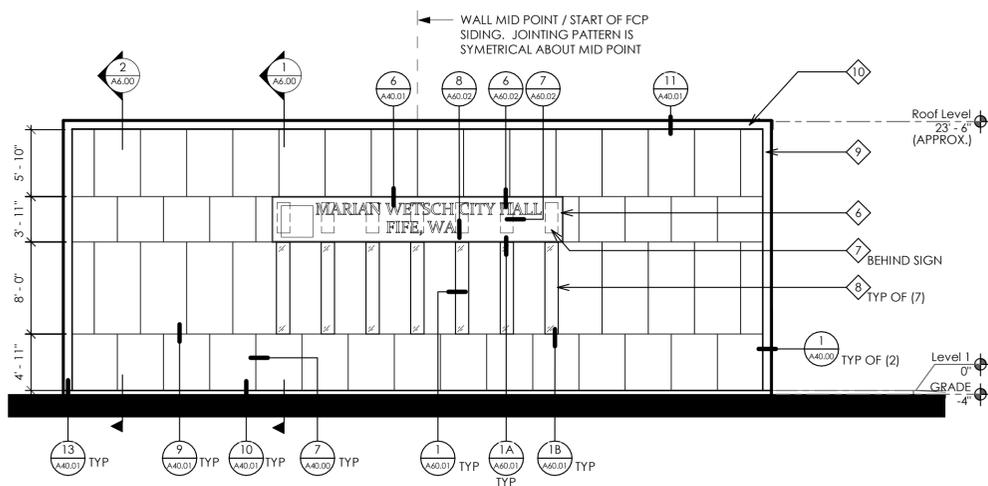
NOTE: ALL EXISTING STUCCO SIDING SHALL BE REMOVED AND REPLACED WITH NEW SIDING



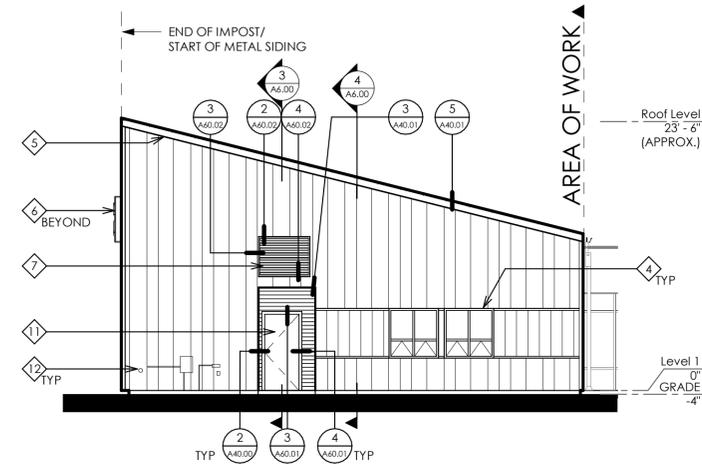
1 NORTHWEST ELEVATION
1/8" = 1'-0"



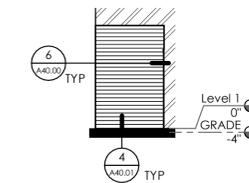
2 NORTHEAST ELEVATION
1/8" = 1'-0"



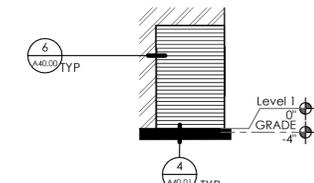
3 SOUTHWEST ELEVATION
1/8" = 1'-0"



4 SOUTHEAST ELEVATION
1/8" = 1'-0"



7 ALCOVE - SOUTHWEST
1/8" = 1'-0"



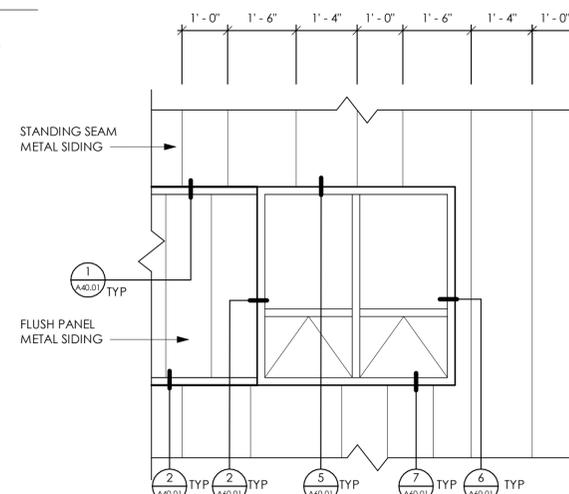
8 ALCOVE - SOUTHEAST
1/8" = 1'-0"

ELEVATION KEYNOTE LEGEND

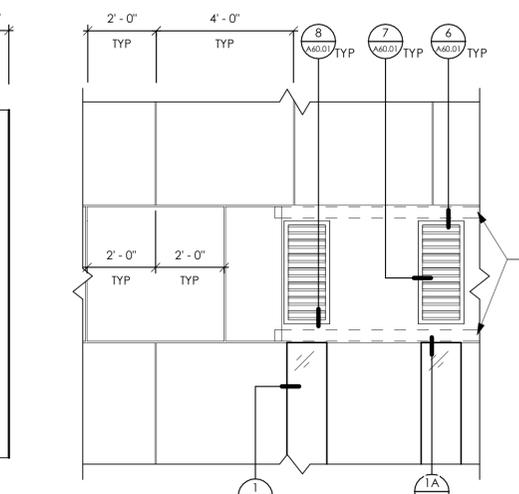
- 1 LEADER BOX & DOWNSPOUT REINSTALLED, PROVIDE NEW PAINT
- 2 EXISTING GUTTER TO REMAIN. CLEAN, SEAL, & REPAINT.
- 3 EXISTING STANDING SEAM METAL ROOFING TO REMAIN
- 4 EXISTING WINDOWS (REMOVED UNDER DEMOLITION WORK) TO BE CLEANED AND REINSTALLED
- 5 RAKE FLASHING
- 6 SIGNAGE ON FRAME OVER LOUVERS, SEE SHEET A2.00
- 7 EXISTING LOUVER, REMOVE AND REINSTALL, PROVIDE NEW PAINT
- 8 REMOVABLE POLYCARBONATE PANEL WITH LED STRIP LIGHTS BEHIND, ALUM FRAME BY POLYCARB MANUFACTURER
- 9 CORNER IMPOST
- 10 OVERHANG
- 11 EXISTING DOOR AND FRAME, REMOVE AND REINSTALL, PROVIDE NEW PAINT
- 12 ELECTRICAL EQUIPMENT

EXTERIOR ELEVATION LEGEND

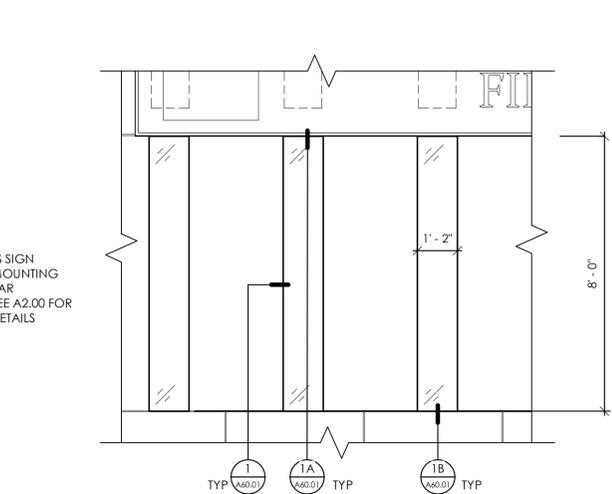
- STANDING SEAM METAL SIDING**
FOR VARYING PANEL WIDTH LAYOUT
SEE 5, A5.00
COLOR: "GREY"
- FIBER CEMENT PANEL**
W/ALUMINUM REVEALS
FOR PANEL BASIC LAYOUT
SEE 6, A5.00
COLOR: BEHR "ULTRA PURE WHITE 01"
- FLUSH PANEL METAL SIDING**
AT 1'-0" OC HORIZONTAL
COLOR: "WHITE"
- HORIZONTAL 1X4**
T&G CEDAR SIDING, STAIN & SEAL



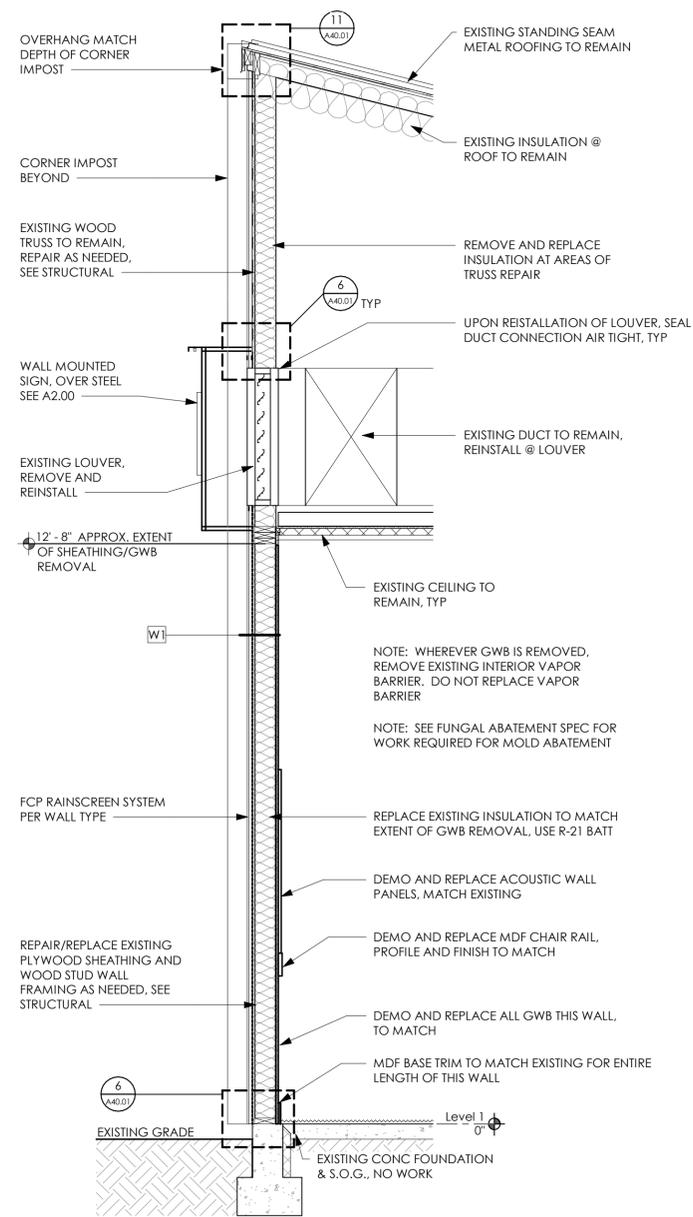
5 ENLARGED ELEVATION @ METAL
1/2" = 1'-0"



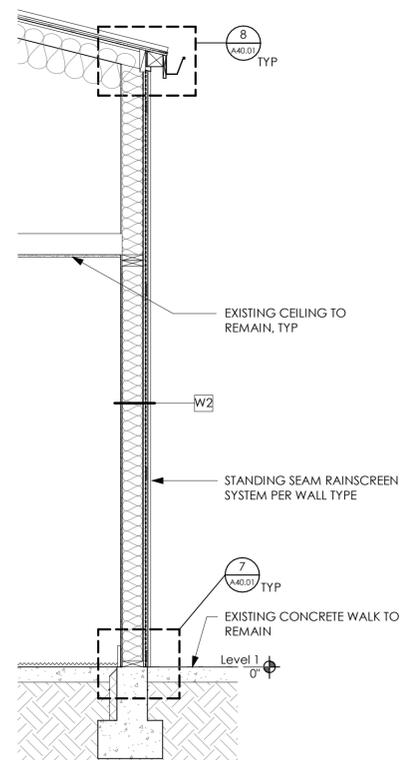
6 ENLARGED ELEVATION @ FCP
3/8" = 1'-0"



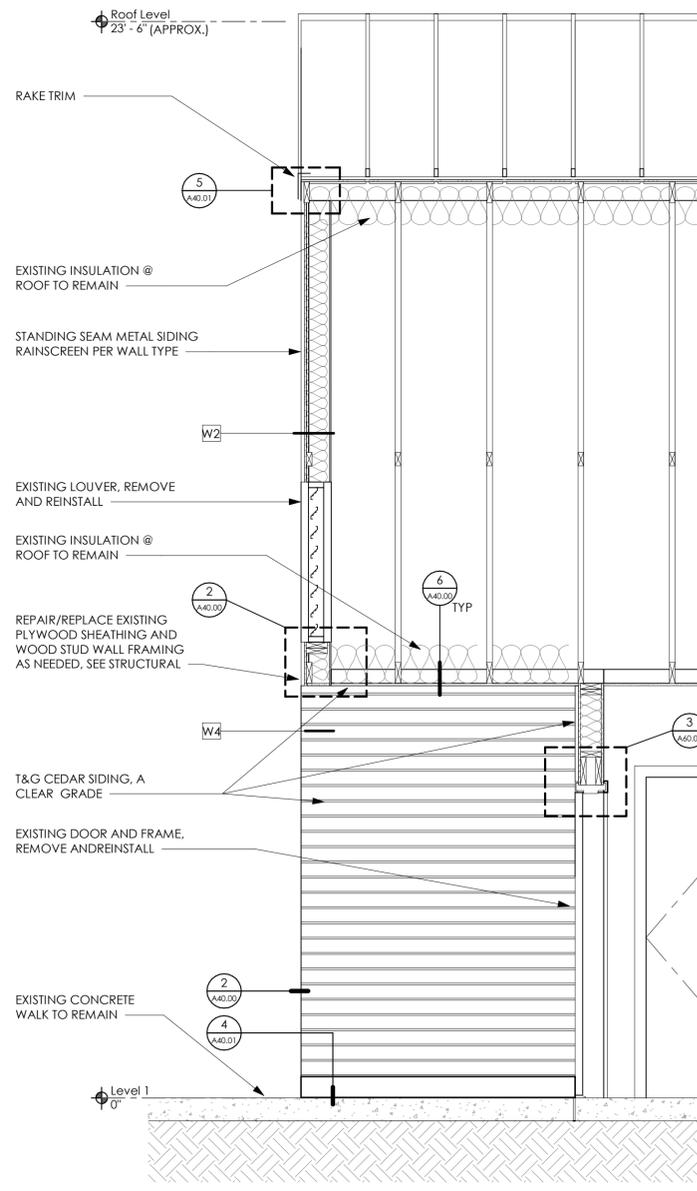
9 SOUTHWEST ELEVATION @ POLYCARB
3/8" = 1'-0"



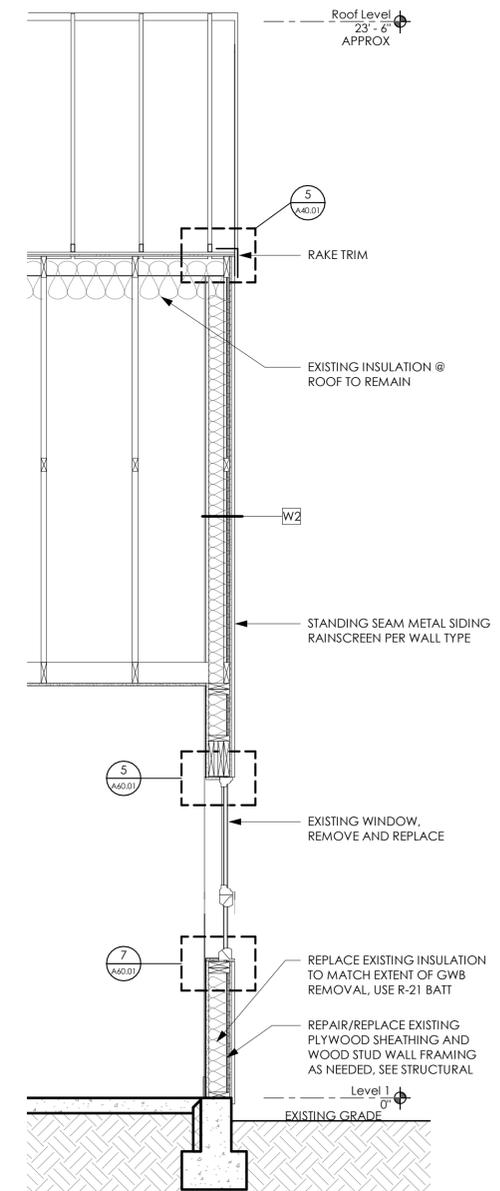
1 WALL SECTION 1
1/2" = 1'-0"



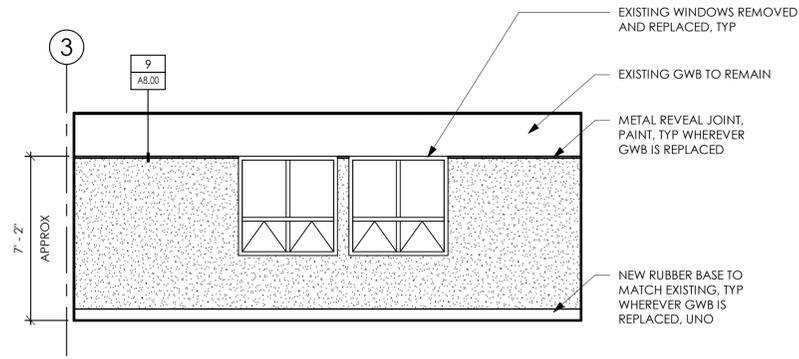
2 WALL SECTION 2
1/2" = 1'-0"



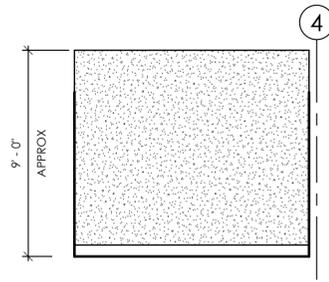
3 WALL SECTION 3
1/2" = 1'-0"



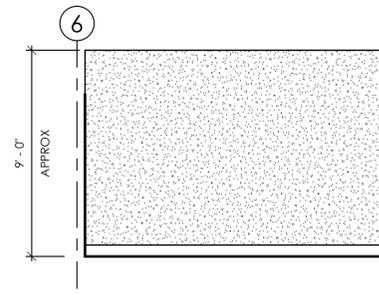
4 WALL SECTION 4
1/2" = 1'-0"



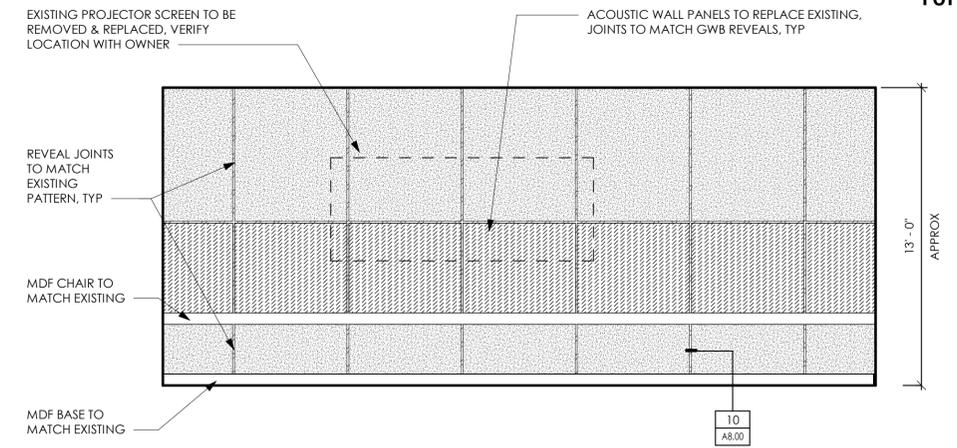
1 CONFERENCE ROOM 1 - SE
1/4" = 1'-0"



2 STORAGE - SE
1/4" = 1'-0"



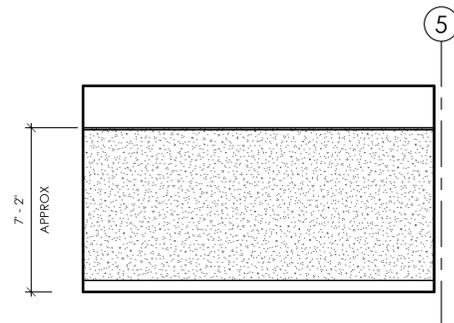
3 STORAGE - SW
1/4" = 1'-0"



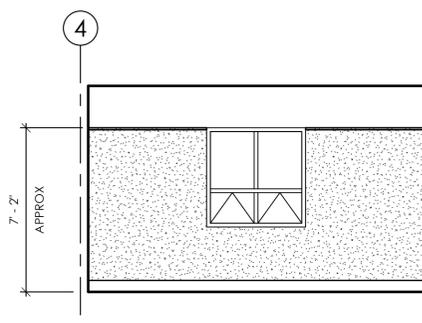
4 COUNCIL CHAMBER - SW
1/4" = 1'-0"

LEGEND

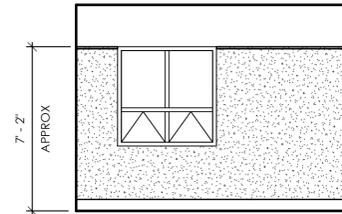
- NEW 5/8" GWB TO REPLACE EXISTING
- ACOUSTIC WALL PANELS TO REPLACE EXISTING



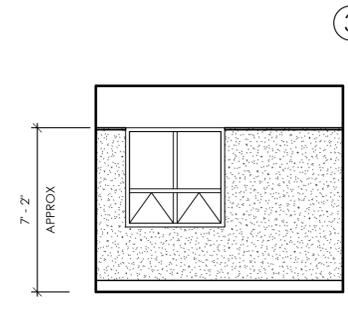
5 WORK ROOM - SW
1/4" = 1'-0"



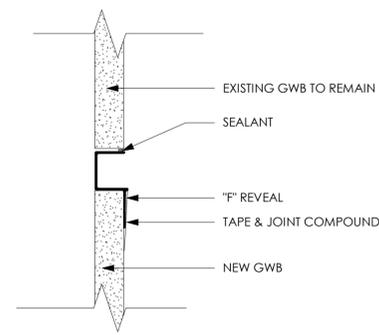
6 WORK ROOM - NW
1/4" = 1'-0"



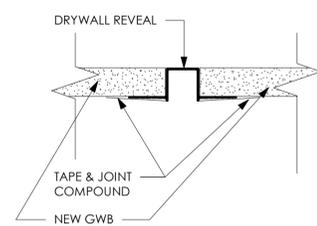
7 CONFERENCE ROOM 2 - NW
1/4" = 1'-0"



8 CONFERENCE ROOM 3 - NW
1/4" = 1'-0"

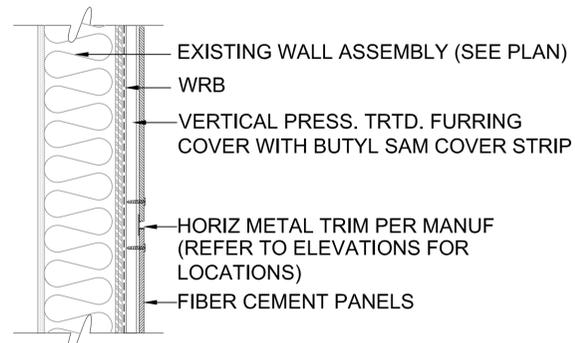
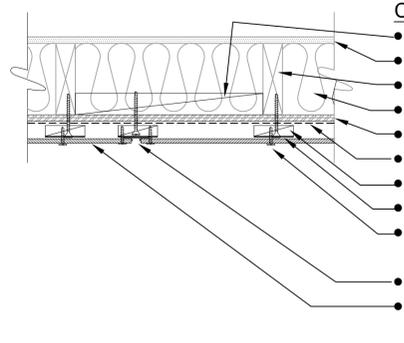
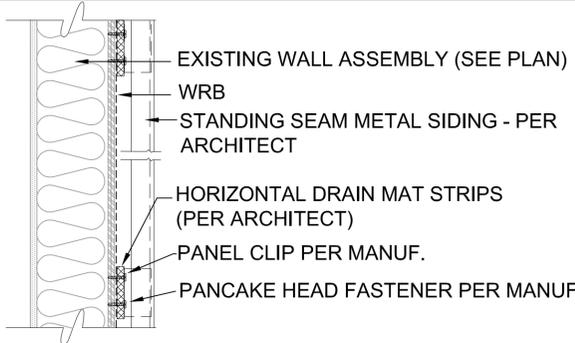
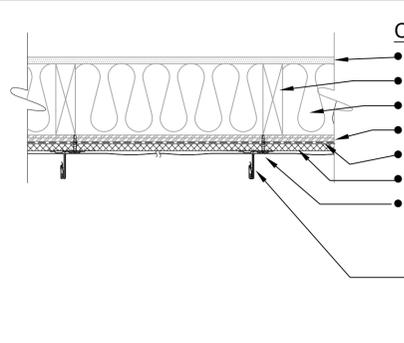
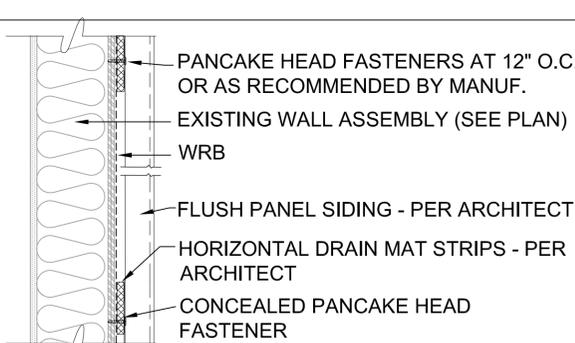
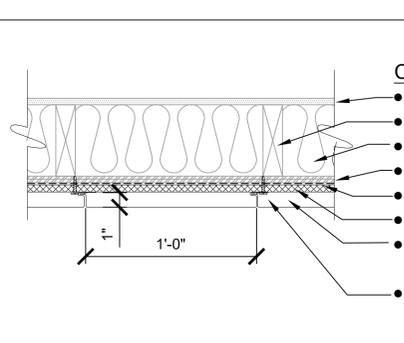
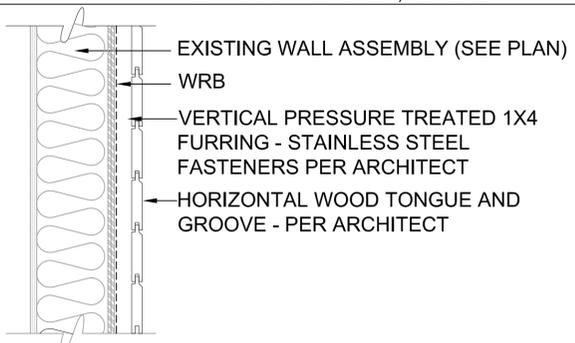
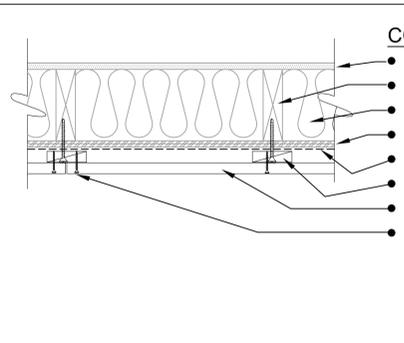


9 DRYWALL REVEAL @ NEW/EXISTING
6" = 1'-0"



10 DRYWALL REVEAL
6" = 1'-0"

WALL TYPES

TAG	TYPE	SECTION VIEW	PLAN VIEW
W1	FIBER CEMENT PANEL SIDING BASIS OF DESIGN: JAMES HARDIE REVEAL 2.0 SEE ARCHITECT PLANS AND SPECS	 <p>EXISTING WALL ASSEMBLY (SEE PLAN)</p> <p>WRB</p> <p>VERTICAL PRESS. TRTD. FURRING COVER WITH BUTYL SAM COVER STRIP</p> <p>HORIZ METAL TRIM PER MANUF (REFER TO ELEVATIONS FOR LOCATIONS)</p> <p>FIBER CEMENT PANELS</p>	 <p>CONSTRUCTION NOTES</p> <ul style="list-style-type: none"> • PROVIDE BLOCKING IF REQUIRED TO SUPPORT FIBER CEMENT PANEL EDGES • EXISTING 5/8" GYP BOARD (REPLACE AS NEEDED) • EXISTING 2X6 FRAMING 16" O.C. (REPAIR/REPLACE PER STRUCTURAL) • EXISTING BATT INSULATION (REPLACE AS NEEDED) • EXISTING 1/2" OSB SHEATHING (REPLACE AS NEEDED - SEE STRUCTURAL) • WRB • MIN. 1X4 PRESSURE TREATED FURRING - STAINLESS SCREWS PER ARCHITECT • BUTYL SAM COVER STRIP OVER FURRING • FIBER CEMENT STAINLESS SCREWS - PAINTED (TW-S HPL) http://www.fastenershop.net/fiber-cement-screws/fiber-cement-screws.html • VERTICAL METAL TRIM (PER MANUF) • FIBER CEMENT PANEL (7/16" THICK)
W2	STANDING SEAM METAL SIDING BASIS OF DESIGN: AEP DESIGN SPAN HP PANEL SEE ARCHITECT PLANS AND SPECS	 <p>EXISTING WALL ASSEMBLY (SEE PLAN)</p> <p>WRB</p> <p>STANDING SEAM METAL SIDING - PER ARCHITECT</p> <p>HORIZONTAL DRAIN MAT STRIPS (PER ARCHITECT)</p> <p>PANEL CLIP PER MANUF.</p> <p>PANCAKE HEAD FASTENER PER MANUF</p>	 <p>CONSTRUCTION NOTES</p> <ul style="list-style-type: none"> • EXISTING 5/8" GYP BOARD (REPLACE AS NEEDED) • EXISTING 2X6 FRAMING 16" O.C. (REPAIR/REPLACE PER STRUCTURAL) • EXISTING BATT INSULATION (REPLACE AS NEEDED) • EXISTING 1/2" OSB SHEATHING (REPLACE AS NEEDED - SEE STRUCTURAL) • WRB • HORIZONTAL DRAINAGE MAT STRIPS - PER ARCHITECT • STANDING SEAM METAL SIDING - PER ARCHITECT • FASTENERS PER SIDING MANUFACTURER REQUIREMENTS <p>PANEL CLIP PER MANUFACTURER</p>
W3	FLUSH PANEL METAL SIDING BASIS OF DESIGN: AEP "FLUSH PANEL" SEE ARCHITECT PLANS AND SPECS	 <p>PANCAKE HEAD FASTENERS AT 12" O.C. OR AS RECOMMENDED BY MANUF.</p> <p>EXISTING WALL ASSEMBLY (SEE PLAN)</p> <p>WRB</p> <p>FLUSH PANEL SIDING - PER ARCHITECT</p> <p>HORIZONTAL DRAIN MAT STRIPS - PER ARCHITECT</p> <p>CONCEALED PANCAKE HEAD FASTENER PER MANUFACTURER; 12" O.C.</p>	 <p>CONSTRUCTION NOTES</p> <ul style="list-style-type: none"> • EXISTING 5/8" GYP BOARD (REPLACE AS NEEDED) • EXISTING 2X6 FRAMING 16" O.C. (REPAIR/REPLACE PER STRUCTURAL) • EXISTING BATT INSULATION (REPLACE AS NEEDED) • EXISTING 1/2" OSB SHEATHING (REPLACE AS NEEDED - SEE STRUCTURAL) • WRB • HORIZONTAL DRAINAGE MAT STRIPS - PER ARCHITECT • FLUSH PANEL SIDING - PER ARCHITECT <p>SIDING FASTENERS: PANCAKE FASTENER PER MANUFACTURER; 12" O.C.</p>
W4	WOOD Tongue-and-Groove 1X4 NOMINAL SEE ARCHITECT PLANS AND SPECS FOR WOOD SPECIES, FASTENING AND FINISHING	 <p>EXISTING WALL ASSEMBLY (SEE PLAN)</p> <p>WRB</p> <p>VERTICAL PRESSURE TREATED 1X4 FURRING - STAINLESS STEEL FASTENERS PER ARCHITECT</p> <p>HORIZONTAL WOOD TONGUE AND GROOVE - PER ARCHITECT</p>	 <p>CONSTRUCTION NOTES</p> <ul style="list-style-type: none"> • EXISTING 5/8" GYP BOARD • EXISTING 2X6 FRAMING 16" O.C. (REPAIR/REPLACE PER STRUCTURAL) • EXISTING BATT INSULATION (REPLACE AS NEEDED) • EXISTING 1/2" OSB SHEATHING (REPLACE AS NEEDED - SEE STRUCTURAL) • WRB • 1X4 PRESSURE TREATED FURRING, WITH STAINLESS STEEL FASTENERS • HORIZONTAL WOOD TONGUE-AND-GROOVE - PER ARCHITECT • STAINLESS STEEL FASTENERS - PER ARCHITECT

WATERPROOFING NOTES

1. ALL FLASHINGS SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR. FLASHING MATERIALS SHALL BE TYPICALLY 24 GAUGE PRE-FINISHED KYNAR COATED GALVANIZED METAL.
 2. ALL WALL PENETRATIONS SHALL BE TARGET FLASHED.
 3. ALL WEATHER RESISTIVE BARRIERS SHALL HAVE POSITIVE LAPPING (SHINGLE STYLE) WHEN INSTALLED. LAPPING AND SEALING OF SEAMS AND JOINTS SHALL BE BY MANUFACTURER'S REQUIREMENTS.
 4. ALL BUILDING INTERFACES SHALL BE FLASHED TO PREVENT MOISTURE FROM ENTERING THE WALL.
 5. ALL HORIZONTAL HARD SURFACES SHALL HAVE ADEQUATE SLOPING FOR DRAINAGE.
 6. FOR GENERAL NOTES RELATED TO WATER DAMAGED EXISTING MATERIAL REFER TO S101 AND SPECIFICATION SECTION 02 41 22 SELECTIVE DEMOLITION. AFTER REMOVAL OF DAMAGED MATERIALS, TREAT ADJACENT SURFACES WITH FUNGICIDE AND MOLDCIDE (BORA-CARE + MOLD CARE) TYPICAL. SURFACES MUST BE DRY BEFORE COVERING.
 13. LAP WEATHER RESISTANT BARRIER OVER VERTICAL FLASHING A MIN OF 4". UNLESS NOTED OTHERWISE.
 14. REFER TO MATERIAL DATA SHEETS AND MANUFACTURER'S INSTRUCTIONS BEFORE INSTALLING ANY NEW MATERIALS
 15. PROVIDE:
 - A) 2" MIN CLEAR @ ALL CLADDING TO HORIZONTAL HARD SURFACES
 - B) 6" MIN CLEAR @ ALL FRAMING TO FINISH GRADE
 16. EXPOSED FASTENERS SHALL BE SEALED OR GASKETED. INSTALL & LOCATE ALL FASTENERS PER S.M.A.C.N.A.
 17. HEM METAL FLASHING DRIP EDGES, TYPICAL. PROVIDE FULLY SOLDERED JOINTS IN SECTIONS OF FLASHING JOINED TOGETHER AS INDICATED ON DRAWINGS.
 18. PROVIDE GALVANIC SEPARATION MATERIAL BETWEEN DISSIMILAR METALS. NOTIFY THE DESIGN PROFESSIONAL AND/OR CONSTRUCTION MANAGER OF ANY PREVIOUSLY UNDISCOVERED DAMAGE, DEFICIENCIES OR THREATS THAT COMPROMISE THE FIRE AND/OR LIFE SAFETY OF THE BUILDING OCCUPANTS.
- ALL SEALANT WORK SHALL BE IN ACCORDANCE WITH THE SWRI AND THE SEALANT MATERIAL MANUFACTURER. REQUIREMENTS SHOWN IN THE CONSTRUCTION DOCUMENTS ARE ABOVE AND BEYOND THAT REQUIRED BY THE REFERENCED STANDARDS. IF CONFLICTS SHOULD OCCUR BETWEEN THE REFERENCED STANDARDS AND/OR THE CONSTRUCTION DOCUMENTS, UTILIZE THE HIGHEST QUALITY OR MORE STRINGENT REQUIREMENT.
19. ALL ROOFING WORK SHALL BE IN ACCORDANCE WITH NRCA, SMACNA, AND THE ROOFING MATERIAL MANUFACTURER. REQUIREMENTS SHOWN IN THE CONSTRUCTION DOCUMENTS ARE ABOVE AND BEYOND THAT REQUIRED BY THE REFERENCED STANDARDS. SHOULD CONFLICTS OCCUR BETWEEN THE REFERENCED STANDARDS AND/OR THE CONSTRUCTION DOCUMENTS, UTILIZE THE HIGHEST QUALITY OR MORE STRINGENT REQUIREMENT. (ONLY USE WHERE ROOFING WORK IS APPLICABLE)

EXTERIOR REPAIR NOTES

1. FOR STRUCTURAL SHEATHING, STUD, SILL PLATES, TRUSS OR OTHER FRAMING REPLACEMENTS, REFER TO STRUCTURAL DRAWINGS.
2. WHERE SHEATHING IS REPLACED, REMOVE AND REPLACE ALL INSULATION IN STUD CAVITY TO MATCH EXISTING.
3. AFTER REMOVAL OF DAMAGED MATERIALS, CLEAN WITH DISINFECTANT AND SPRAY WITH MICROBIAL TREATMENT (BORACARE, BENEFECT OR APPROVED EQUAL), TINT SPRAY COLOR GREEN TO CONFIRM APPLICATION.

MOCK UP AND TESTING

1. ALL MATERIALS TO BE USED FOR MOCK-UP MUST BE SUBMITTED FOR REVIEW AND APPROVAL BY DESIGN PROFESSIONAL BEFORE USE.
2. MOCK-UP REVIEW SHALL CONSIST OF A STEP BY STEP INSTALLATION SEQUENCING DONE ON SITE IN AN AREA SELECTED BY DESIGN PROFESSIONAL.
3. IN PLACE MOCK-UPS MUST BE PERFORMED BY PERSONNEL WHO WILL BE DOING THE ACTUAL INSTALLATION.
4. WATER TESTING AT WINDOWS, DOORS AND LOUVERS SHALL BE PERFORMED PRIOR TO FULL SIDING INSTALLATION. TEMPORARY SIDING IMITATING INSTALLED CONDITION SHALL BE UTILIZED TO IMITATE FINAL INSTALLATION.
5. CONTACT DESIGN PROFESSIONAL 48 HOURS PRIOR TO SCHEDULE MOCK UPS AND TESTING. MOCK UP AND TESTING SHALL BE INCLUDED IN CONTRACTORS OVERALL CONSTRUCTION SCHEDULE.
6. LIST MAY NOT INCLUDE ALL ITEMS REQUIRING MOCK UP REVIEW. ADDITIONAL MOCK UPS AND/OR WATER TESTING MAY BE REQUESTED AS REQUIRED BY BUILDING ENCLOSURE CONSULTANT OF RECORD.



Peter Lambert

Sheet Title

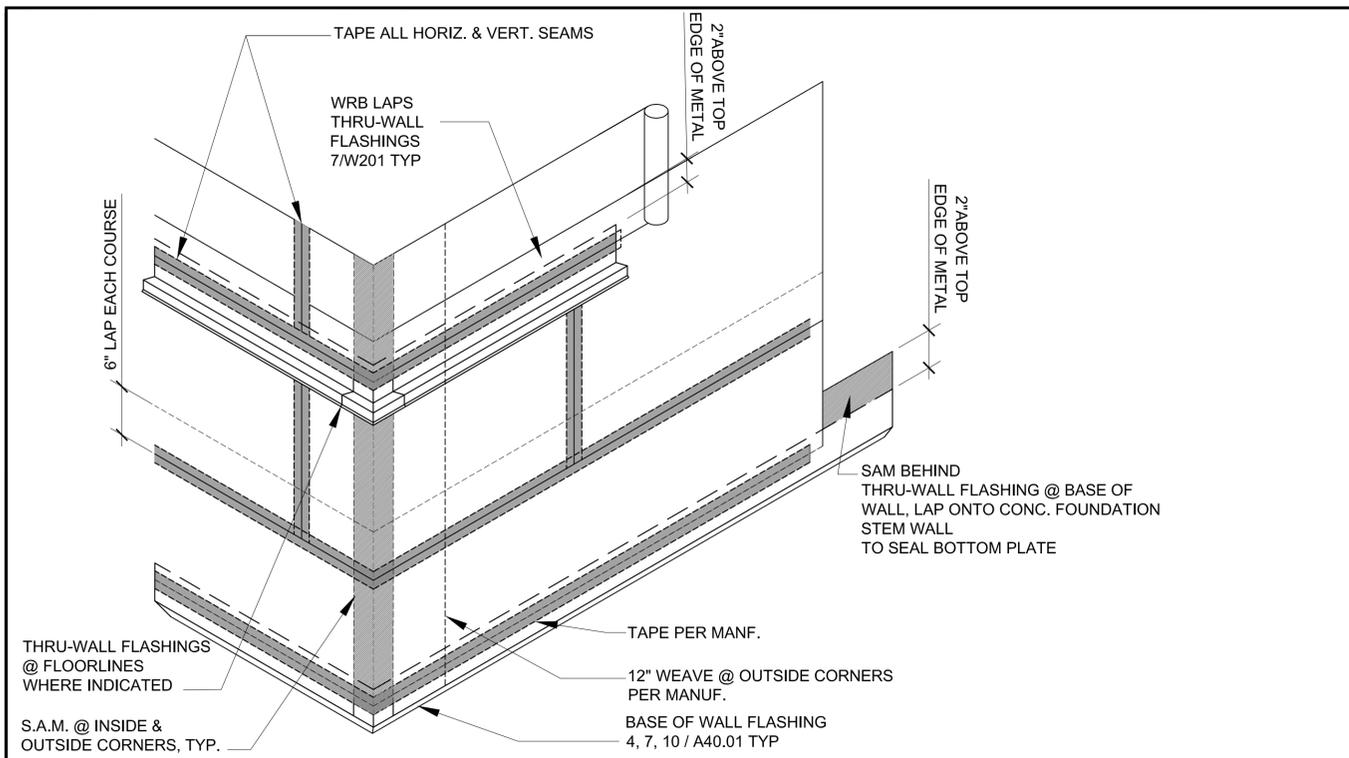
EXTERIOR WALL TYPES WATERPROOFING NOTES

Drawn By NC/EP/RY Checked By RY/PL

Sheet Number

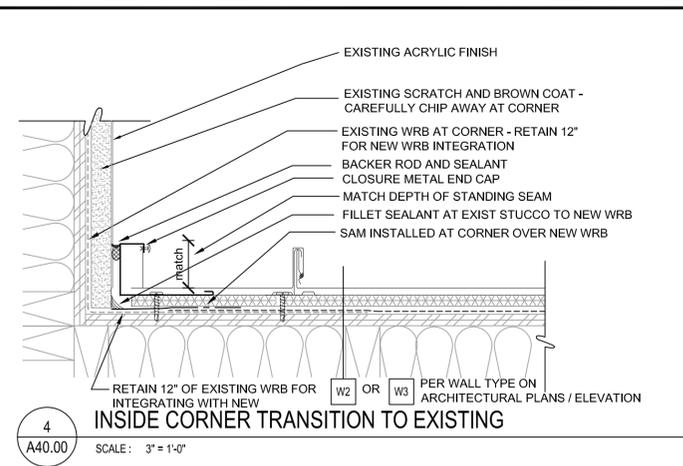
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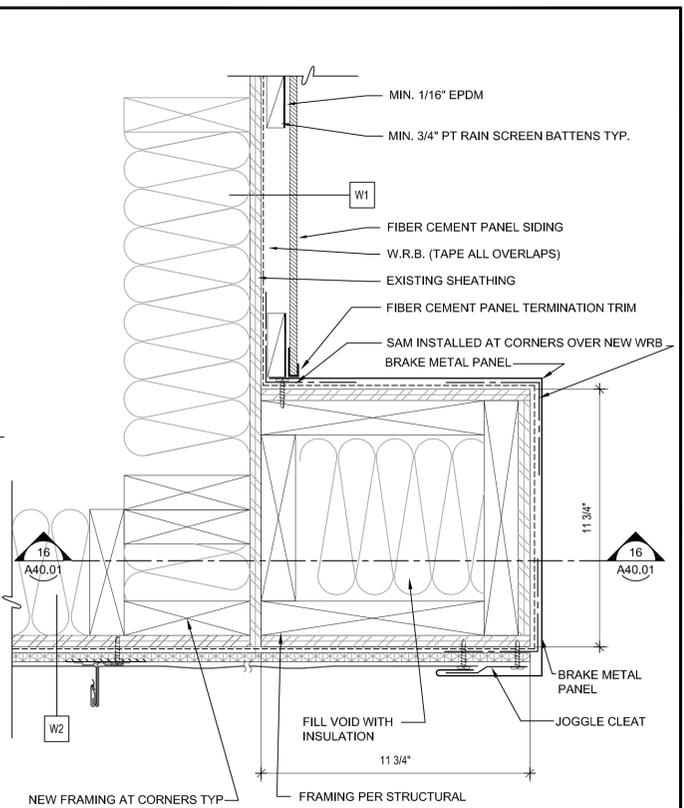


NOTE:
REFER TO MANUFACTURER'S INSTRUCTIONS FOR WRB INSTALL

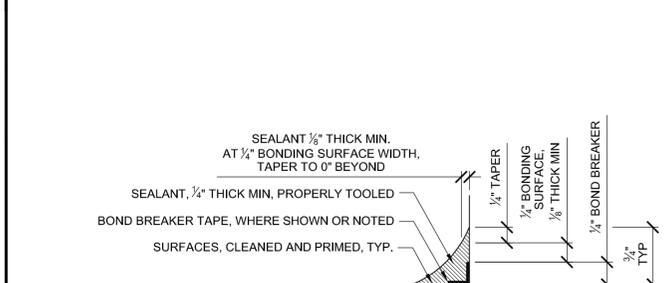
11 WRB INSTALLATION DIAGRAM
SCALE: N.T.S.



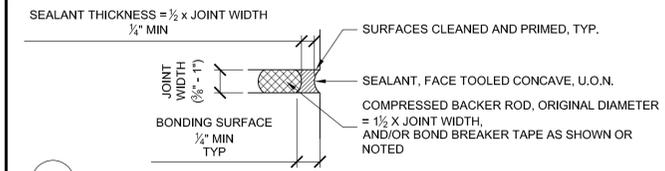
4 A40.00 SCALE: 3" = 1'-0"



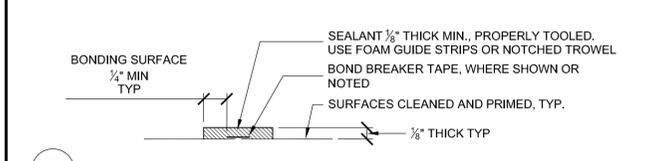
1 A40.00 SCALE: 3" = 1'-0"



A TYPICAL SEALANT FILLET JOINT DETAIL



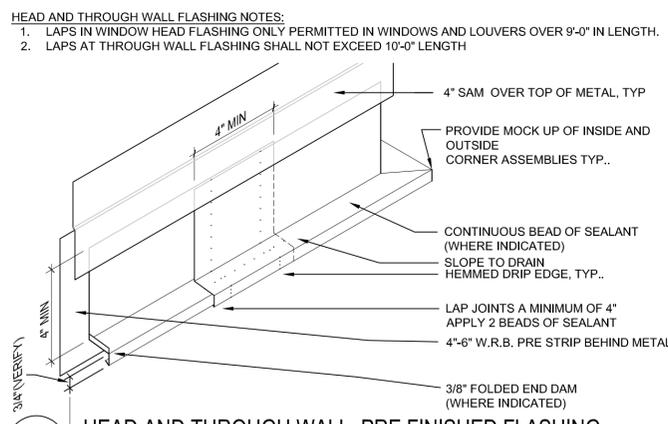
B TYPICAL BACKER ROD AND SEALANT JOINT DETAIL



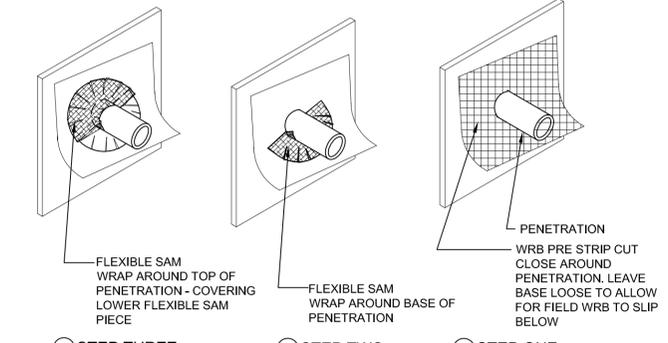
C TYPICAL BAND AID JOINT DETAIL

TYPICAL NOTES. ALL SEALANT JOINTS:
1. CLEAN ALL SURFACES TO RECEIVE SEALANTS AND USE SEALANT MANUFACTURER'S RECOMMENDED PRIMER.
2. MASK ALL JOINTS WITH MASKING TAPE, TYPICAL. REMOVE IMMEDIATELY AFTER TOOLING SEALANT.
3. DO NOT USE ANY ALCOHOL, WATER OR OTHER AGENTS FOR TOOLING SEALANTS.
4. INSTALL BOND BREAKER TAPE OR CLOSED-CELL BACKER ROD WHERE SHOWN OR NOTED.

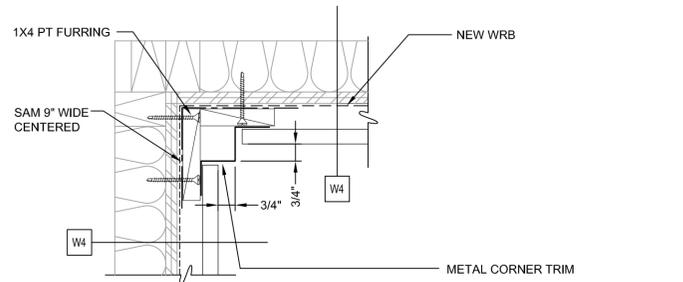
12 TYPICAL SEALANT JOINTS
SCALE: N.T.S.



9 HEAD AND THROUGH WALL PRE FINISHED FLASHING
SCALE: 3" = 1'-0"



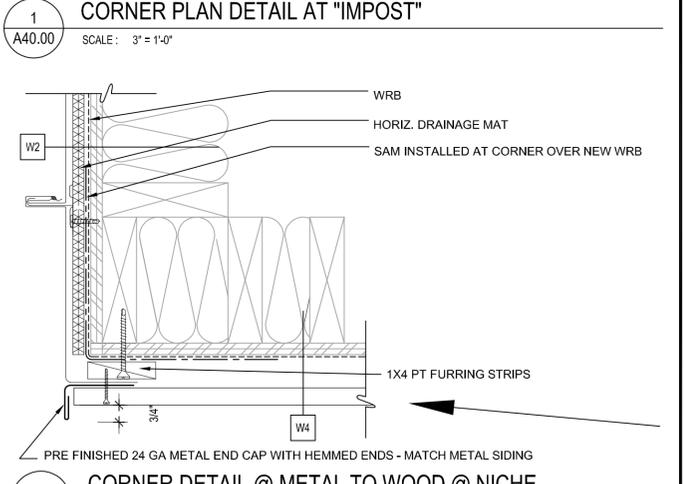
10 WALL PENETRATION- FLEXIBLE SAM FLASHING
SCALE: 3" = 1'-0"



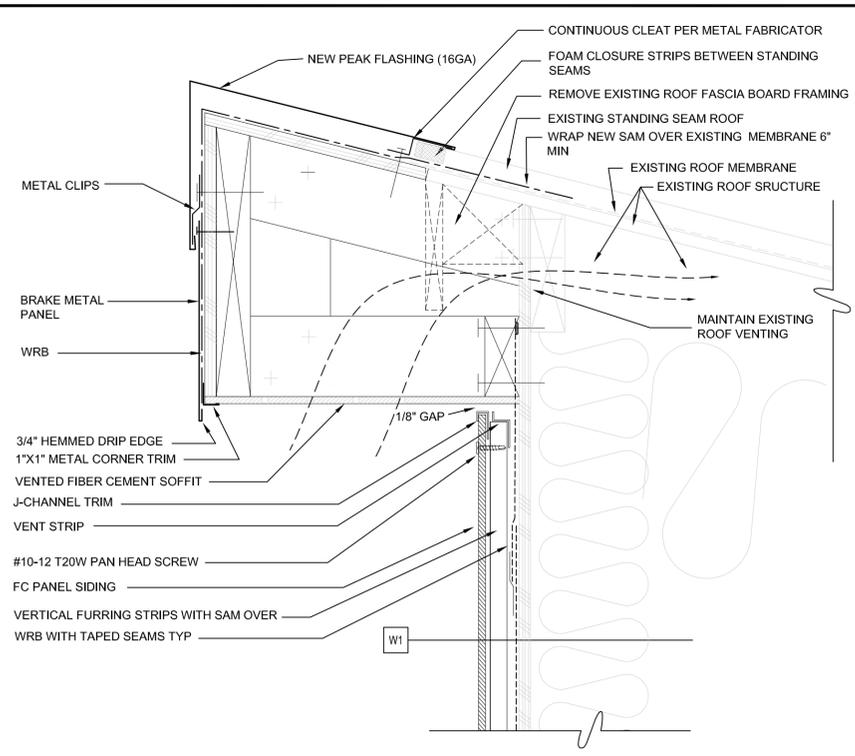
6 WOOD WALL TO WALL PLAN DETAIL
SCALE: 3" = 1'-0"



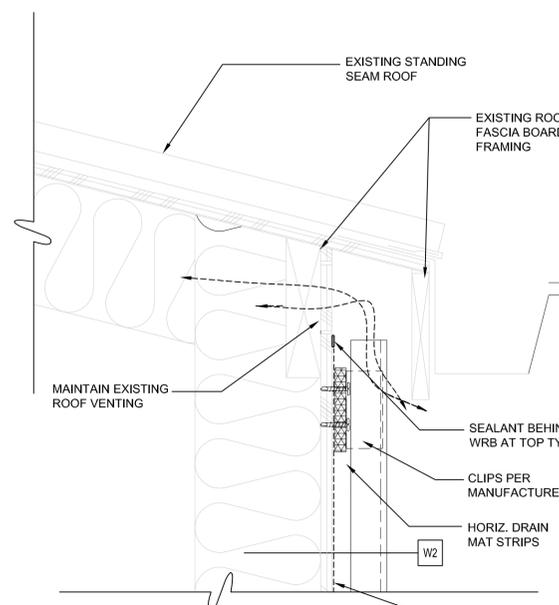
7 F.C. PANEL VERTICAL REVEAL
SCALE: N.T.S.



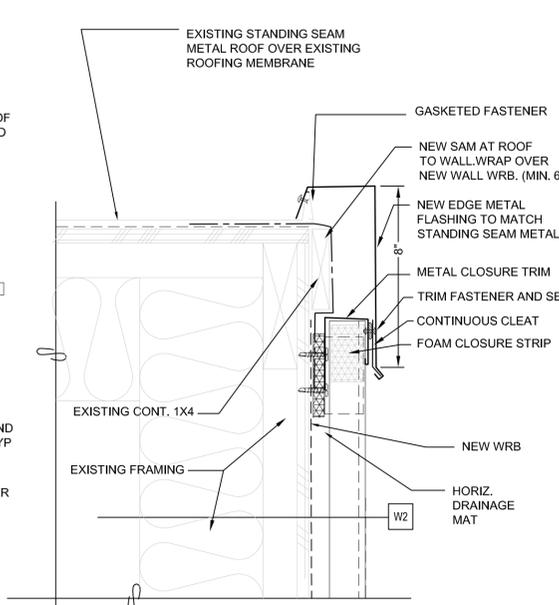
2 A40.00 SCALE: 3" = 1'-0"



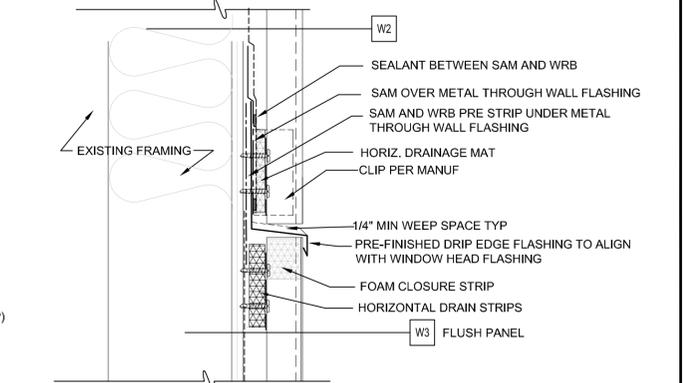
11 PEAK SECTION DETAIL
A40.00 SCALE: 3" = 1'-0"



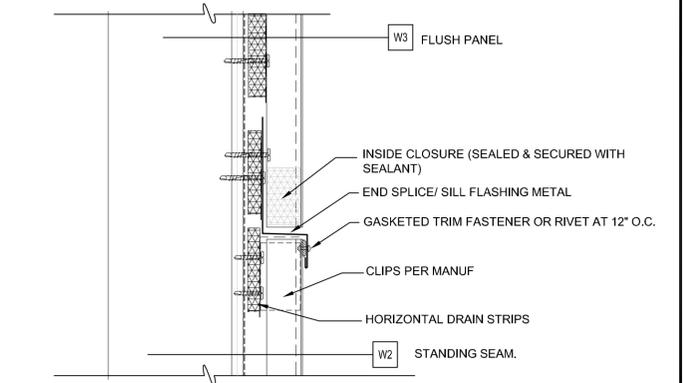
8 ROOF EAVE SECTION DETAIL WITH GUTTER
A40.00 SCALE: 3" = 1'-0"



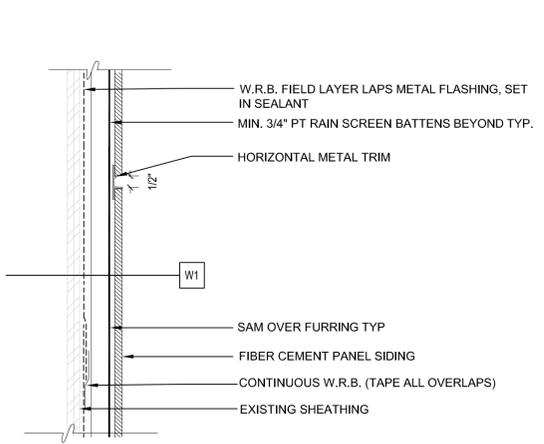
5 ROOF RAKE WALL SECTION DETAIL
A40.01 SCALE: 3" = 1'-0"



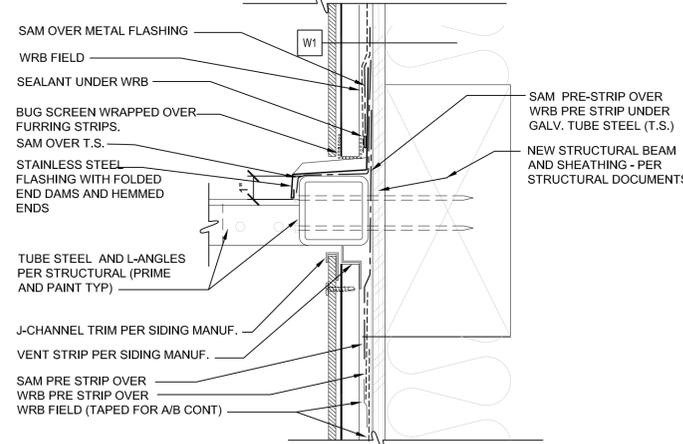
1 STANDING SEAM OVER FLUSH PANEL SECTION
A40.01 SCALE: 3" = 1'-0"



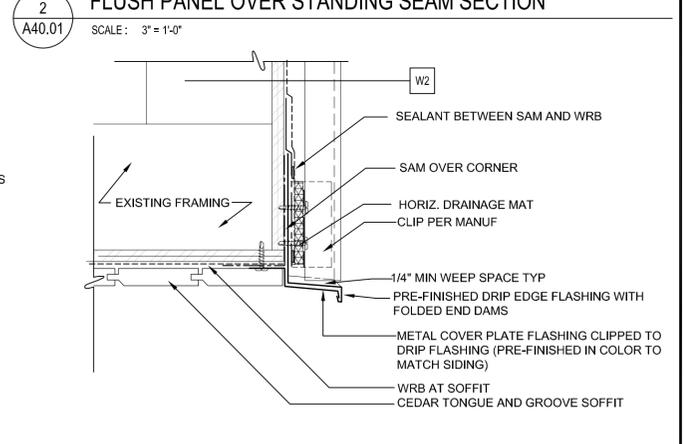
2 FLUSH PANEL OVER STANDING SEAM SECTION
A40.01 SCALE: 3" = 1'-0"



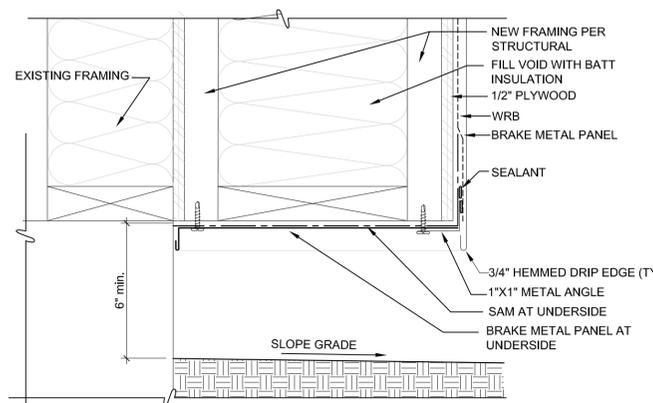
9 HORIZONTAL REVEAL AT PANEL SIDING
A40.01 SCALE: N.T.S.



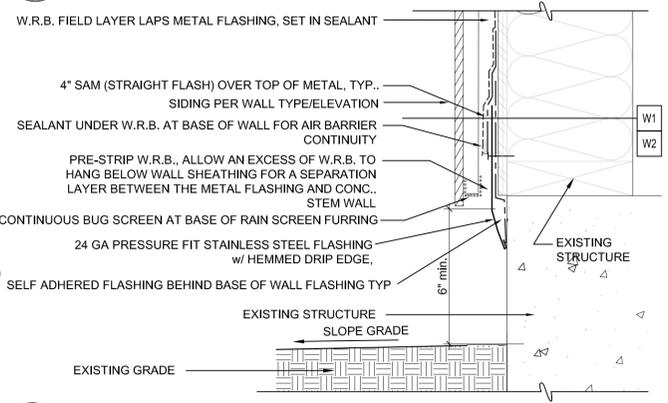
6 THRU WALL FLASHING HORIZONTAL REVEAL AT PANEL SIDING
A40.01 SCALE: N.T.S.



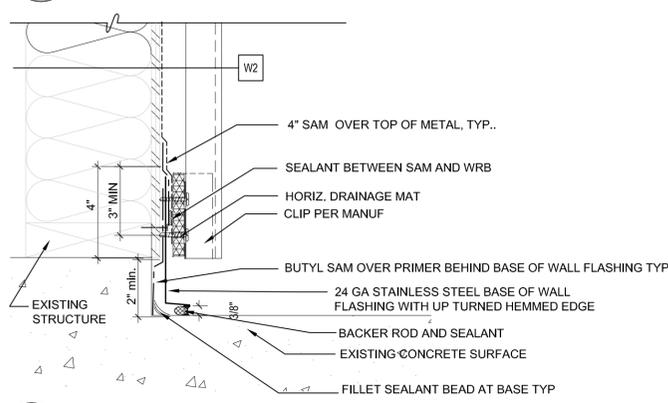
3 STANDING SEAM TO WOOD SOFFIT SECTION
A40.01 SCALE: 3" = 1'-0"



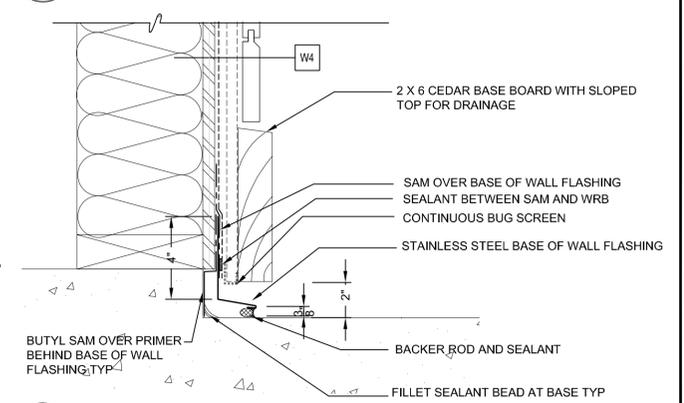
13 BASE OF WALL @ CORNER IMPOST
A40.01 SCALE: 3" = 1'-0"



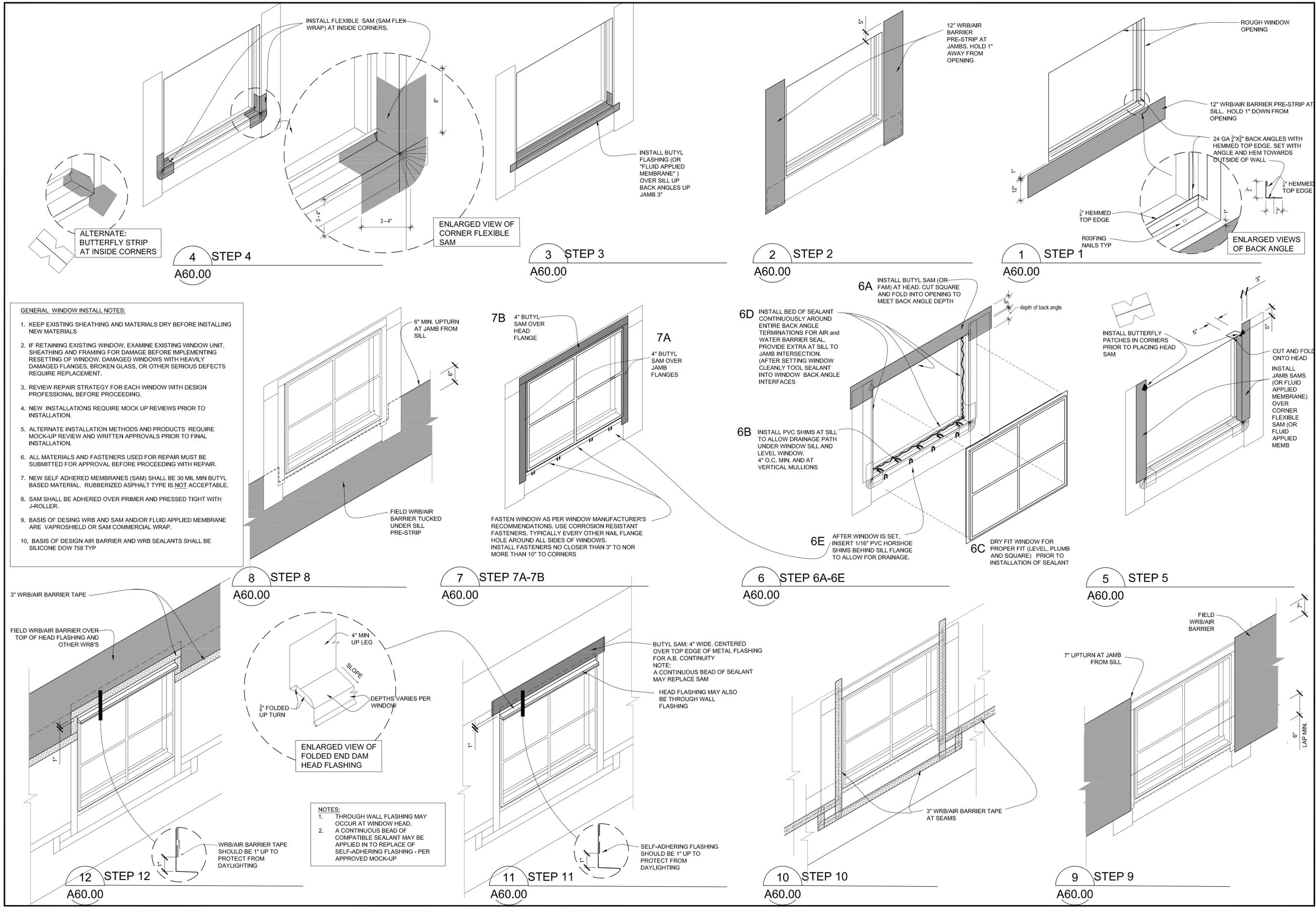
10 BASE OF WALL @ SOIL
A40.01 SCALE: 3" = 1'-0"

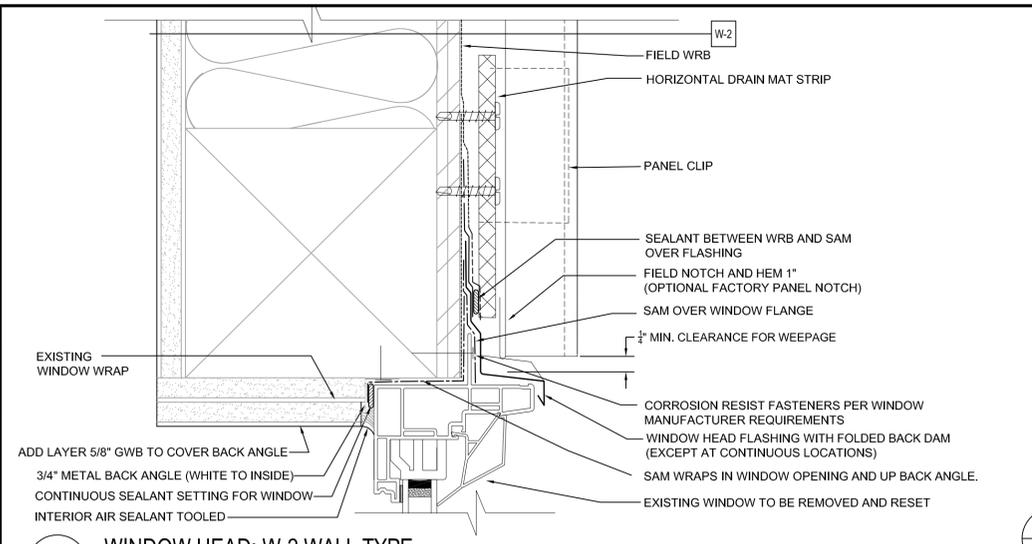


7 BASE OF WALL @ HARDSCAPE
A40.01 SCALE: 3" = 1'-0"



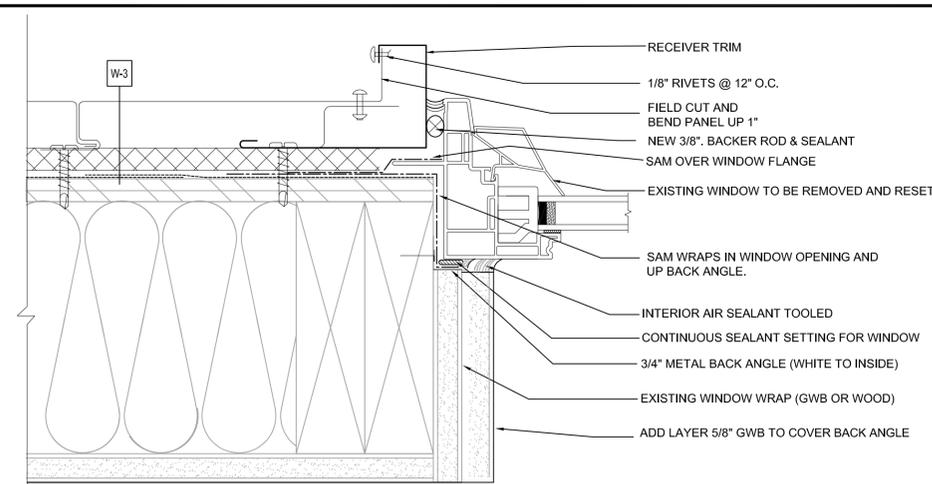
4 BASE DETAIL @ NICHE
A40.01 SCALE: 3" = 1'-0"





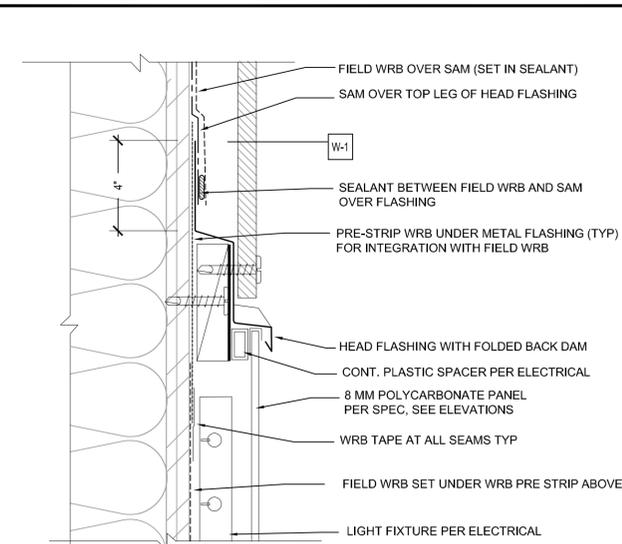
5 WINDOW HEAD: W-2 WALL TYPE

A60.01 SCALE: 6" = 1'-0"



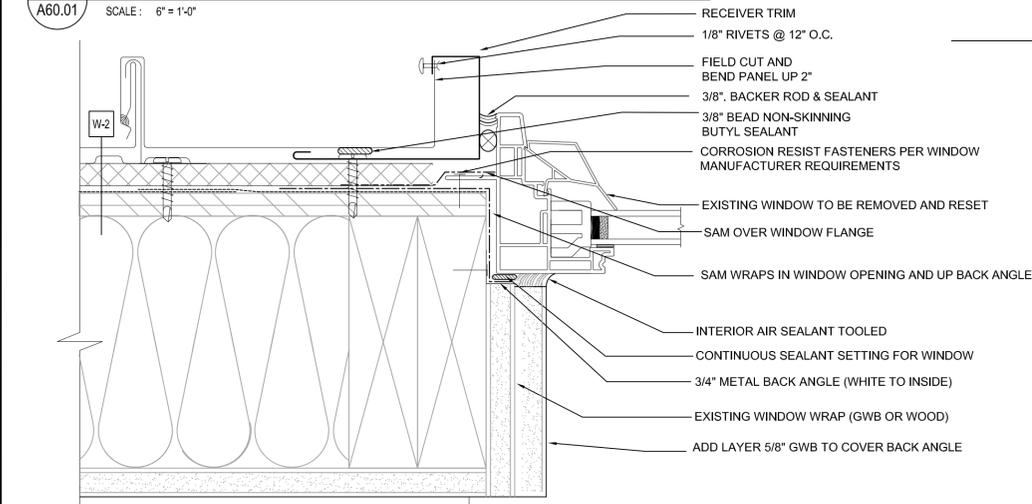
2 WINDOW JAMB: W-3 WALL TYPE

A60.01 SCALE: 6" = 1'-0"



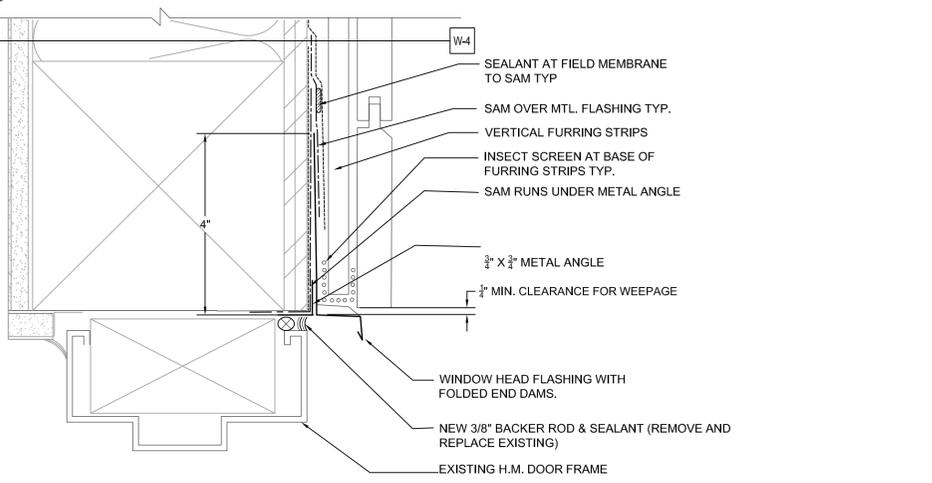
1A LIGHTED "SLOT" HEAD DETAIL

A60.01 SCALE: 6" = 1'-0"



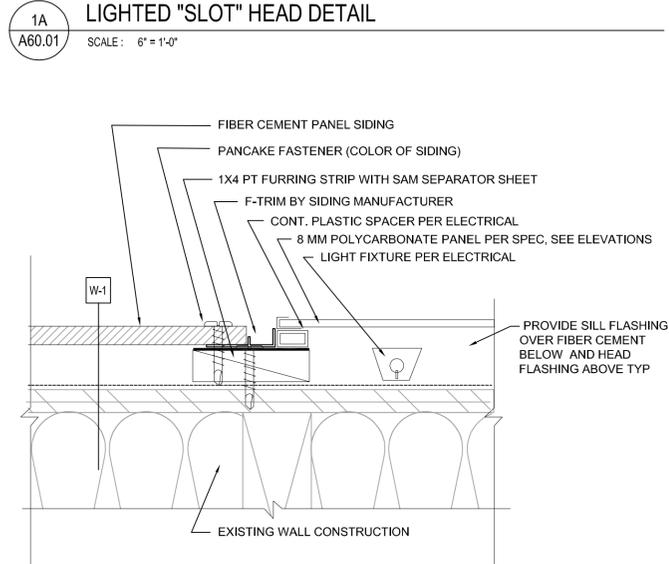
6 WINDOW JAMB: W-2 WALL TYPE

A60.01 SCALE: 6" = 1'-0"



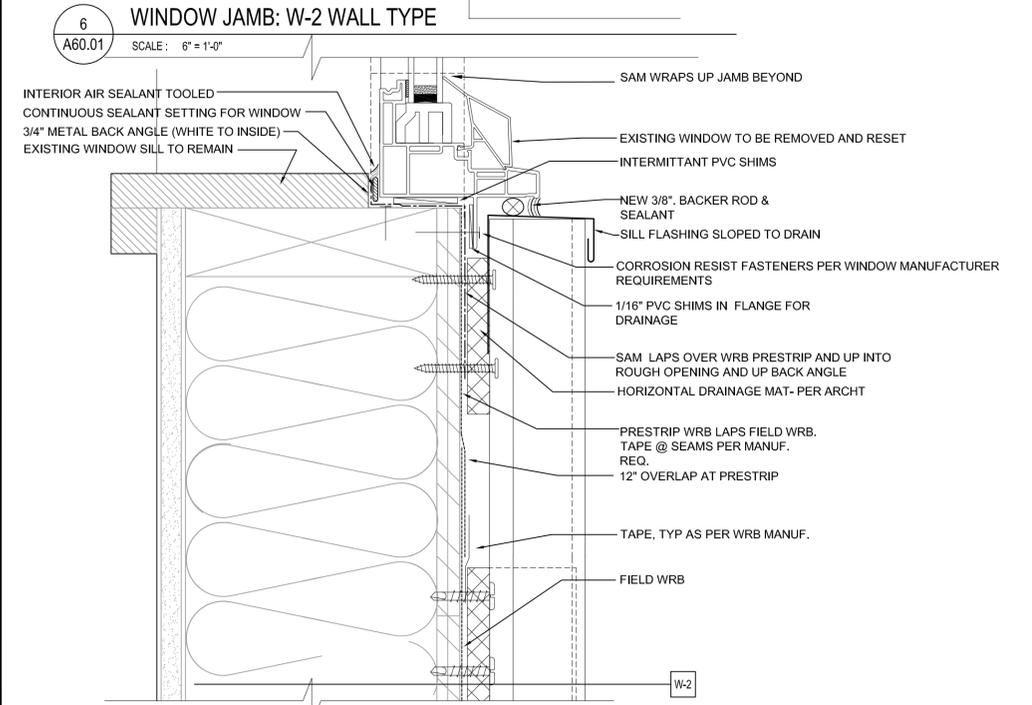
3 DOOR HEAD: W-4 WALL TYPE

A60.01 SCALE: 6" = 1'-0"



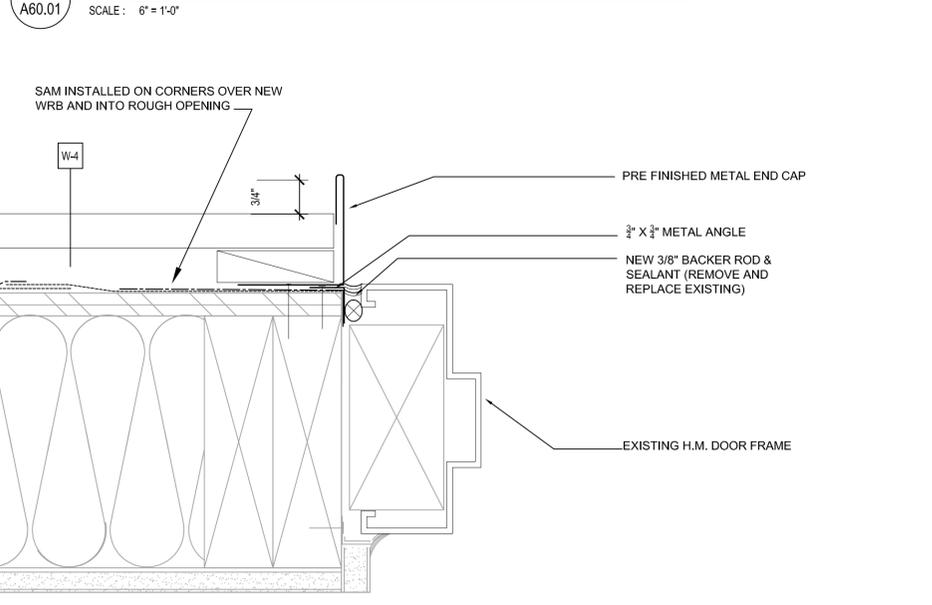
1 LIGHTED "SLOT" JAMB DETAIL

A60.01 SCALE: 6" = 1'-0"



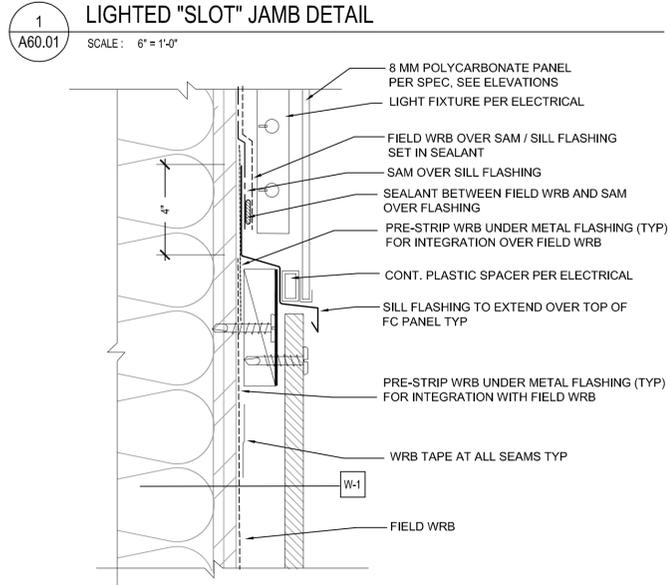
7 WINDOW SILL W-2 WALL TYPE

A60.01 SCALE: 6" = 1'-0"



4 HOLLOW METAL DOOR JAMB: W-4 WALL TYPE

A60.01 SCALE: 6" = 1'-0"



1B LIGHTED "SLOT" SILL DETAIL

A60.01 SCALE: 6" = 1'-0"



Peter Lambert

Sheet Title

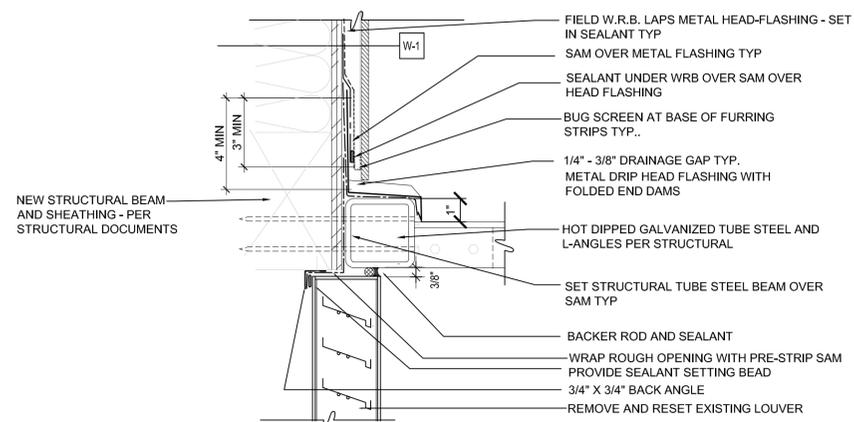
LOUVER DETAILS

Drawn By NC/EP/RY Checked By RY/PL

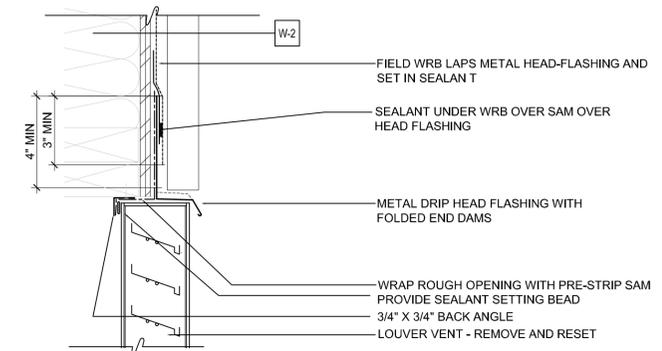
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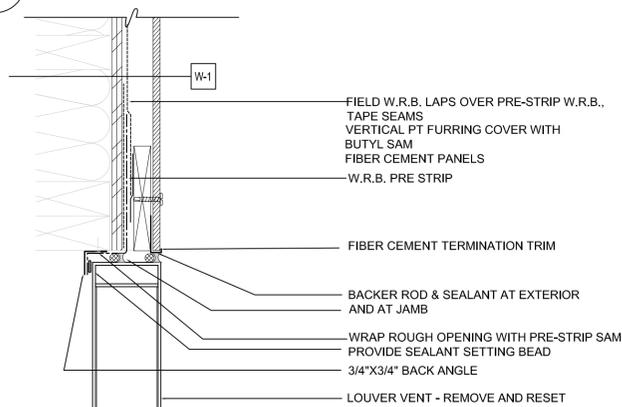
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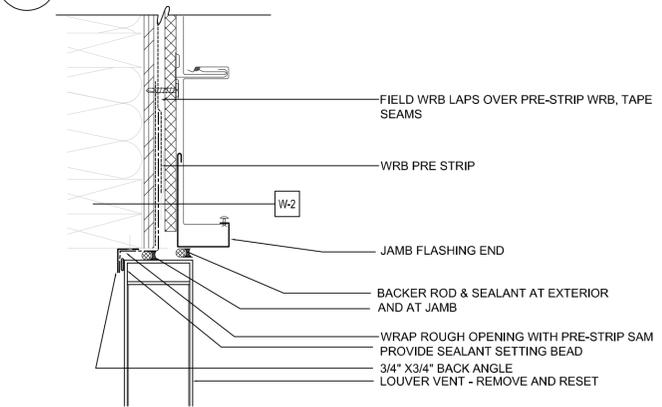
6
A60.02
LOUVER HEAD
SCALE: 3" = 1'-0"



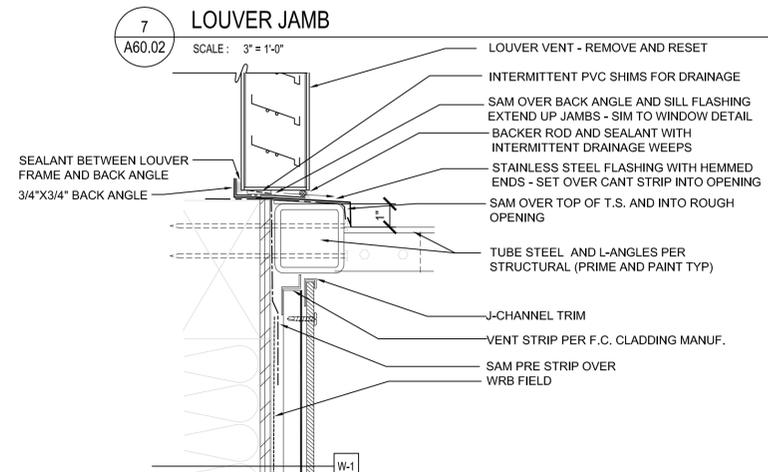
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A60.02
LOUVER HEAD
SCALE: 3" = 1'-0"



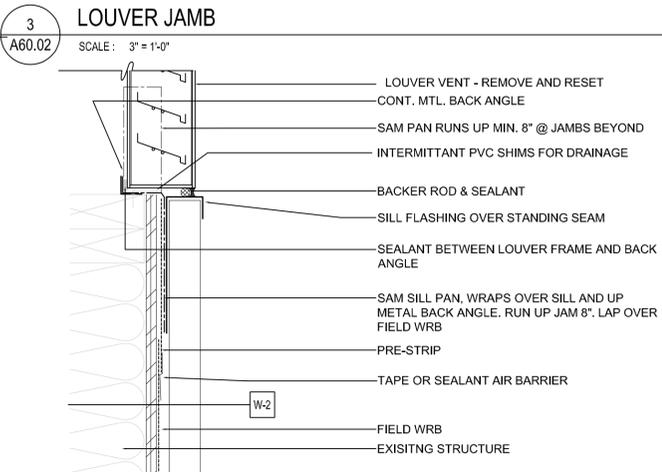
7
A60.02
LOUVER JAMB
SCALE: 3" = 1'-0"



3
A60.02
LOUVER JAMB
SCALE: 3" = 1'-0"



8
A60.02
LOUVER SILL
SCALE: 3" = 1'-0"



4
A60.02
LOUVER SILL
SCALE: 3" = 1'-0"



Project Title
**MARIAN WETSCH
CITY HALL**
5411 23rd St E
FIFE, WA 98424

Project Numbers
2160593.20

Issue & Revision Dates
21 OCTOBER 2016 BID SET

Sheet Title
ELEVATIONS

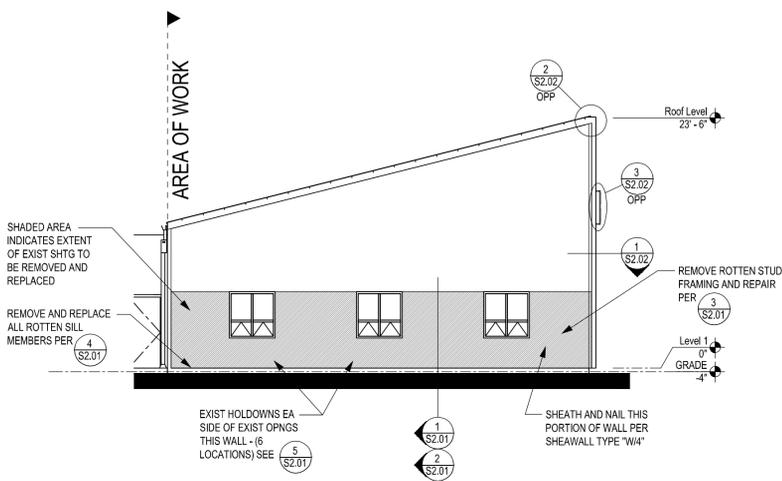
Drawn By
C.D.T.

Checked By
A.D.M.

Sheet Number

S1.01

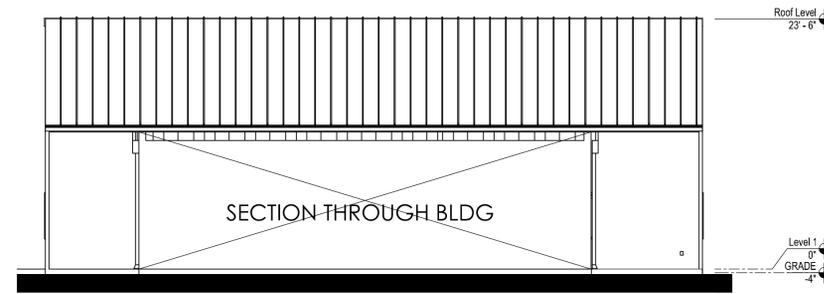
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NORTHWEST ELEVATION

1/8" = 1'-0"

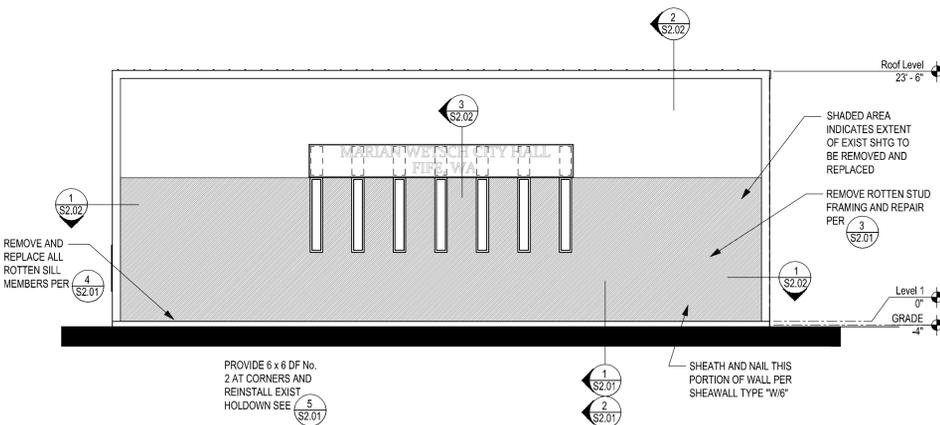
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1/8" = 1'-0"

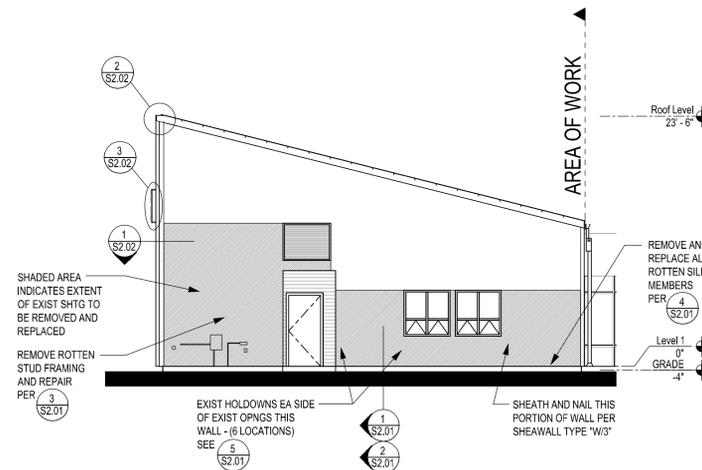
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SECTION

1/8" = 1'-0"

3



SECTION

1/8" = 1'-0"

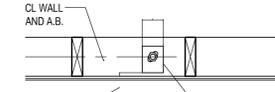
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SHEARWALL SCHEDULE

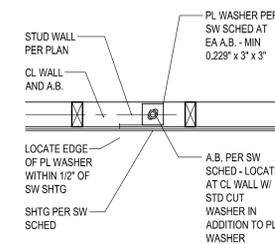
MARK	SHEATHING	NAILING		STUD SIZE AT ADJOINING PANEL EDGES	BLOCKING SIZE	FOUNDATION SILL PL ATTACHMENT	ASD ALLOWABLE UNIT SHEAR - SEISMIC	ASD ALLOWABLE UNIT SHEAR - WIND
		SIZE	SPACING					
W-4	5/8" APA RATED SHEATHING	8d COMMON (0.131" DIA x 2 1/2" MIN)	6" O.C. EDGES 12" O.C. FIELD	2x	2x FLAT OR 2x	3/2" DIA. AT 48" O.C.	310 PLF	435 PLF
W-4	5/8" APA RATED SHEATHING	8d COMMON (0.131" DIA x 2 1/2" MIN)	4" O.C. EDGES 12" O.C. FIELD	3x (12)	2x FLAT OR 3x (12)	3/2" DIA. AT 48" O.C.	460 PLF	645 PLF
W-3	5/8" APA RATED SHEATHING	8d COMMON (0.131" DIA x 2 1/2" MIN)	3" O.C. EDGES 12" O.C. FIELD	3x (12)	2x FLAT OR 3x (12)	3/2" DIA. AT 32" O.C.	600 PLF	840 PLF

APA RATED SHEATHING SHEARWALL NOTES:

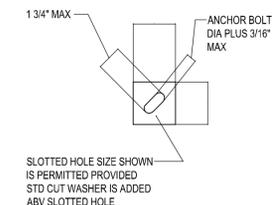
- NAILS SHALL BE COMMON FROM AN AMERICAN OR CANADIAN MFR ONLY. MINIMUM NAIL PENETRATION INTO WOOD FRAMING SHALL BE 1 1/2" FOR 8d NAILS. UNLESS NOTED OTHERWISE, NAIL DIAMETERS AND LENGTHS SHALL BE PER NOTE 6.2.3 OF THE STRUCTURAL NOTES. GALVANIZED NAILS SHALL BE HOT DIPPED OR TUMBLED.
- APA RATED SHEATHING MATERIAL SHALL BE PLYWOOD CONFORMING TO DOC PS 1 OR PS 2. SHEATHING MAY BE ORIENTED EITHER HORIZONTALLY OR VERTICALLY.
- SHEATHING PANELS SHALL NOT BE LESS THAN 4' x 8' EXCEPT AT SHEARWALL BOUNDARIES AND CHANGES IN FRAMING. ALL EDGES OF ALL PANELS SHALL BE SUPPORTED BY AND FASTENED TO FRAMING MEMBERS OR BLOCKING.
- WHERE THE SHEARWALL HAS BEEN DESIGNATED ON THE PLANS TO EXTEND ALONG LENGTHS OF WALLS WITH PENETRATIONS, SHEATHING AND NAILING OF THAT TYPE SHALL BE REQUIRED ABOVE AND BELOW WALL OPENINGS. OTHERWISE, SHEATHING AND NAILING ABOVE AND BELOW OPENINGS MAY BE TYPE W6.
- UNLESS NOTED OTHERWISE, THE SHEARWALL DESIGNATION APPLIES TO FULL EXTENT OF WALL BETWEEN CORNERS OF WALLS.
- SHEARWALLS SHALL RUN CONTINUOUS THROUGH BREAKS CAUSED BY INTERSECTING WALLS.
- WHEN SHEATHING IS REQUIRED ON ONE SIDE ONLY, PLACE ON THE SIDE OF THE SYMBOL. WHERE THE SHEATHING IS NOTED ON TWO SIDES OF THE WALL, STAGGER VERTICAL PANEL JOINTS SUCH THAT JOINTS ON OPPOSITE SIDES OF THE WALL DO NOT FALL ON THE SAME FRAMING MEMBER.
- NAIL SPACING INDICATED ON SCHEDULE APPLIES TO ALL STUDS. TOP AND BOTTOM PLATES AND BLOCKING. NAIL SPACINGS OF 3" ON CENTER OR LESS AT ADJOINING PANEL EDGES SHALL BE STAGGERED. NAILS SHALL BE LOCATED AT LEAST 3/8" FROM PANEL EDGES.
- PROVIDE SHEATHING EDGE NAILING TO ALL COLUMNS WITH HOLD-DOWNS.
- HOT DIPPED GALVANIZED FASTENERS SHALL BE USED TO ATTACH TO ALL TREATED WOOD MEMBERS. ELECTROPLATED FASTENERS ARE NOT ACCEPTABLE.
- SPACING OF WALL STUDS SHALL BE AS NOTED ON THE PLANS. SPACING OF STUDS SHALL NOT EXCEED 24" O.C.
- WHERE NOTED, THE WIDTH OF THE NAILED FACE OF FRAMING MEMBERS AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL. TWO 2" NOMINAL FRAMING MEMBERS SHALL BE PERMITTED TO BE USED IN LIEU OF A SINGLE 3" NOMINAL MEMBER PROVIDED THE 2" NOMINAL MEMBERS ARE LAMINATED TOGETHER WITH NAILS OR BOLTS AS NOTED IN "2x BOTTOM PLATE ATTACHMENT TO WOOD BELOW" COLUMN IN SCHEDULE ABOVE.
- ANCHOR BOLTS SHALL NOT BE SPACED GREATER THAN 48" OC, AND SHALL HAVE 3" MIN. EMBED. SEE DETAILS FOR TYPE OF CONNECTION REQUIRED. PROVIDE A MINIMUM OF (2) ANCHOR BOLTS PER PIECE, WITH ONE ANCHOR LOCATED NOT MORE THAN 12" OR LESS THAN 4" FROM EACH END OF EACH PIECE. AT NON-SHEAR WALLS, PROVIDE SPECIFIED ANCHOR BOLTS AT 48" OC MAX, UNLESS NOTED OTHERWISE.
- FOUNDATION ANCHOR BOLTS SHALL HAVE A STEEL PLATE WASHER AT EA ANCHOR BOLT NO LESS THAN 0.229" x 3" x 3" IN SIZE. THE HOLE IN THE PLATE WASHER SHALL BE PERMITTED TO BE DIAGONALLY SLOTTED WITH A WIDTH OF UP TO 3/16" LARGER THAN THE BOLT DIAMETER AND A SLOT LENGTH NOT TO EXCEED 1 - 3/4". PROVIDED A STANDARD CUT WASHER IS PLACED BETWEEN THE PLATE WASHER AND THE NUT. THE PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE FOUNDATION SILL PLATE. SLOTTED PLATE WASHERS SHALL BE A MINIMUM 4" x 4" FOR 2x6 WALLS, AND 6" x 6" FOR 2x8 WALLS.



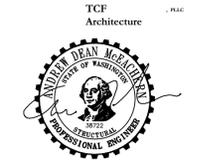
CONDITION AT 2x6 AND LARGER WALLS



TYPICAL CONDITION



STANDARD (MINIMUM) PL WASHER



Project Title
**MARIAN WETSCH
CITY HALL**
5411 23rd St E
FIFE, WA 98424

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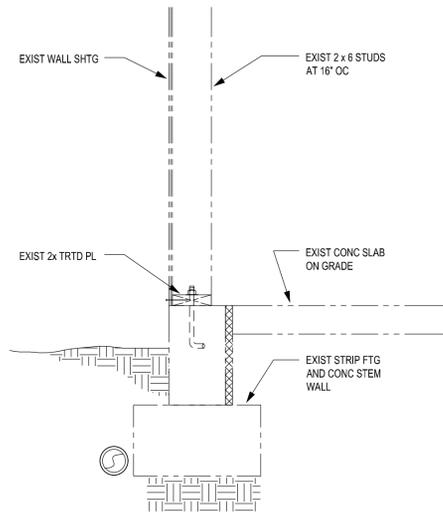
Sheet Title

**FOUNDATION
DETAILS**

Drawn By: C.D.T. Checked By: A.D.M.
Sheet Number

S2.01

Sheet Number Of
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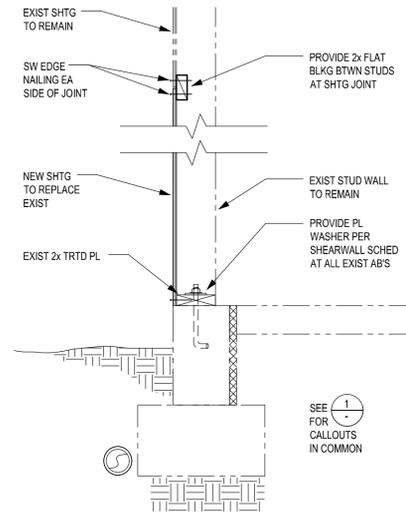


EXISTING CONDITION

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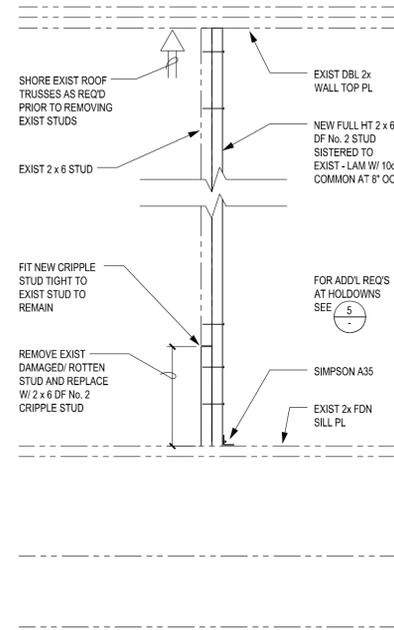
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SECTION

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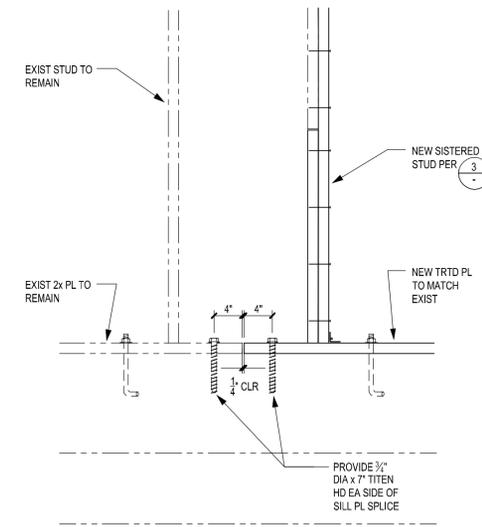
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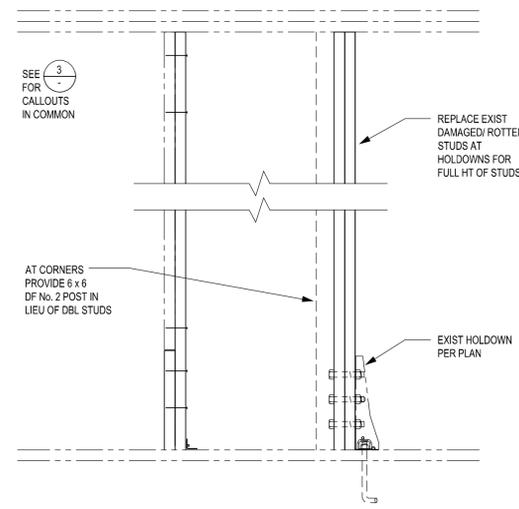
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SECTION

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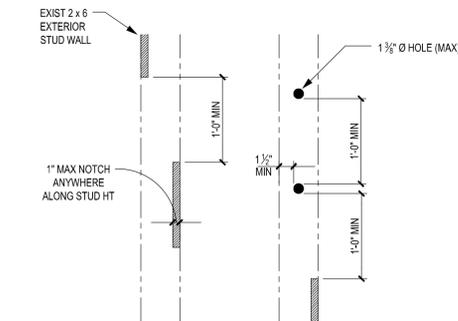
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SECTION

1" = 1'-0"

5

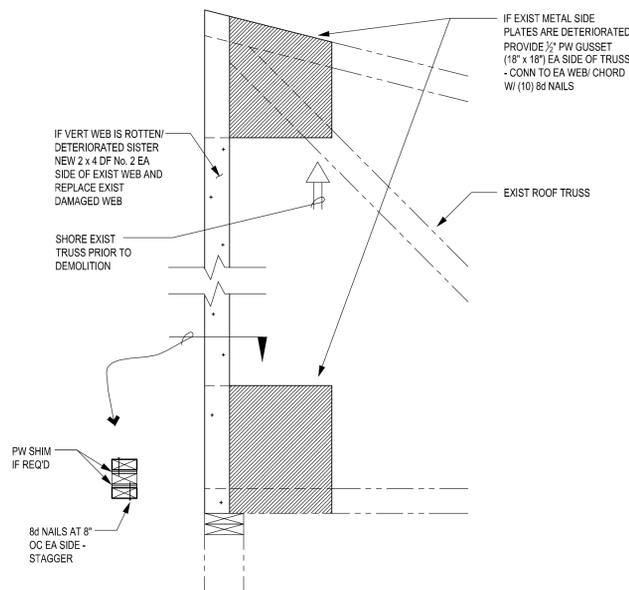


ALLOWABLE STUD NOTCHING/ DRILLING

SECTION

1" = 1'-0"

6



TRUSS REPAIR

SECTION

1" = 1'-0"

7



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Project Title
**MARIAN WETSCH
CITY HALL**
5411 23rd St E
FIFE, WA 98424

Project Numbers
2160593.20

Issue & Revision Dates
21 OCTOBER 2016 BID SET

Sheet Title

**WALL FRAMING
DETAILS**

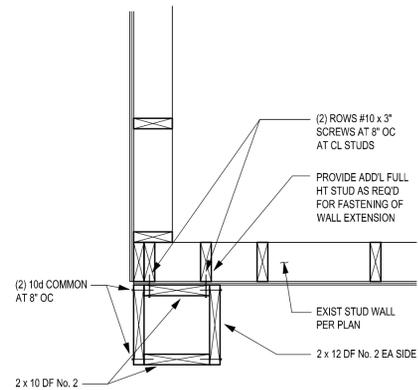
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Sheet Number

S2.02

Sheet Number Of

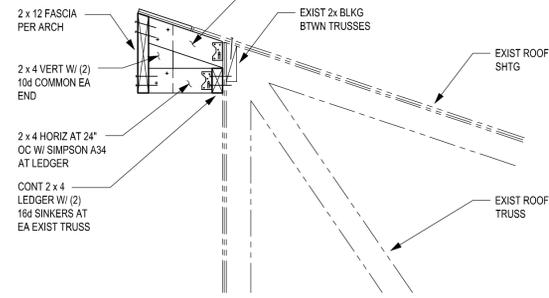
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PLAN

1" = 1'-0"

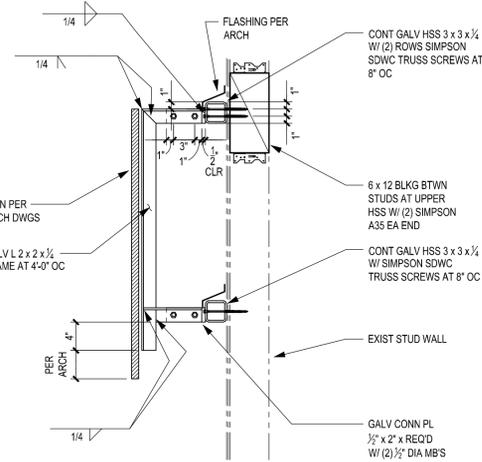
1



SECTION

1" = 1'-0"

2



SECTION

1" = 1'-0"

3



Project Title
**MARIAN WETSCH
CITY HALL**
5411 23rd St E
FIFE, WA 98424

Project Numbers
2012-008

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BID SET

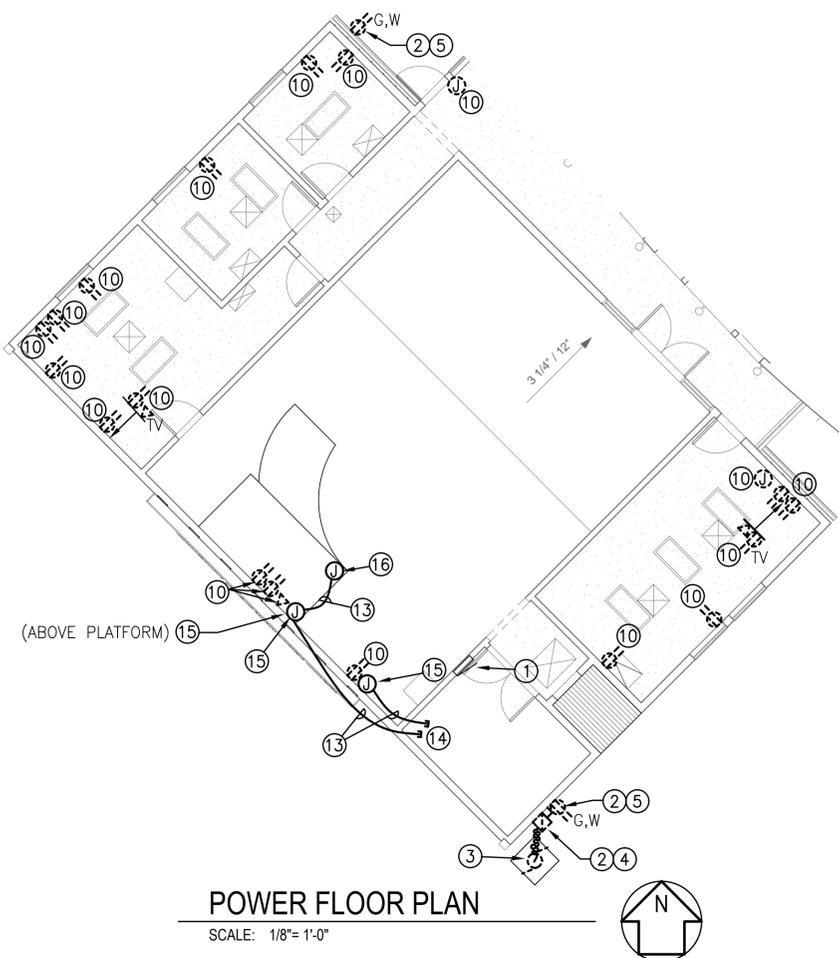
Sheet Title
**ELECTRICAL
PLAN**

Drawn By HS Checked By CH

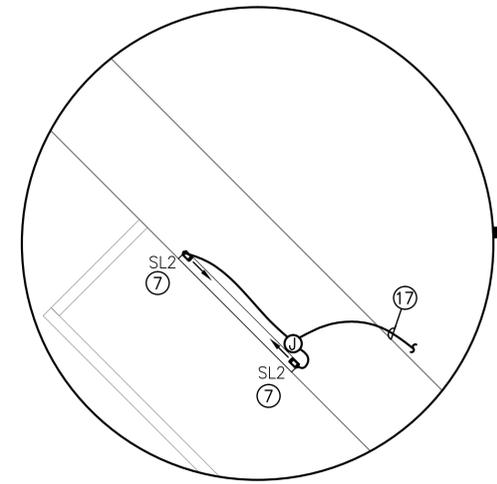
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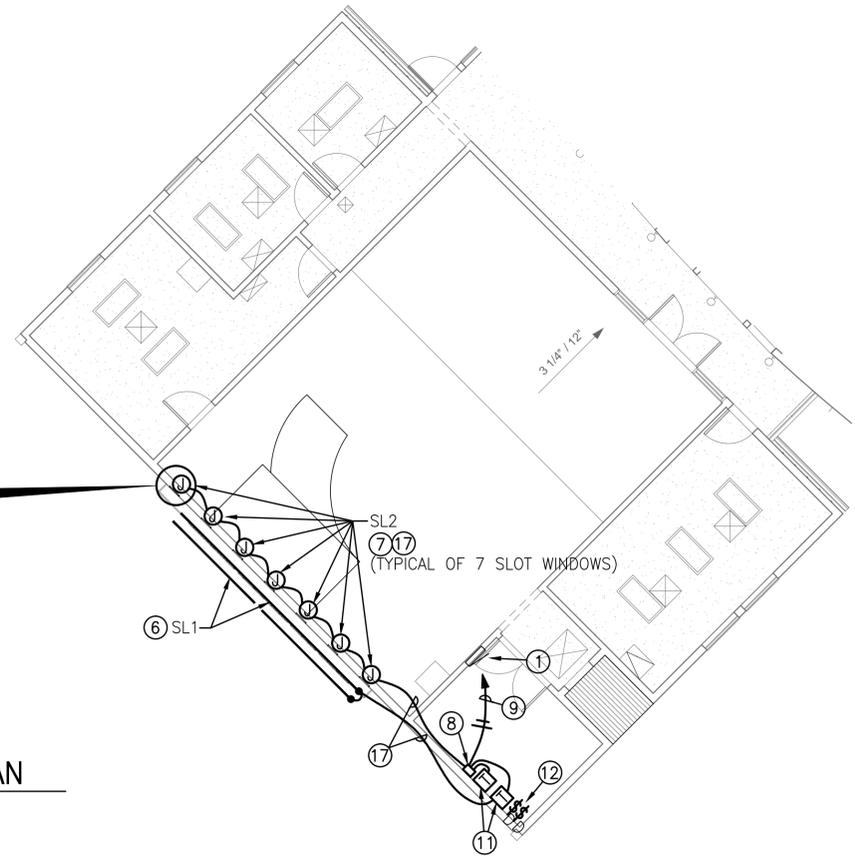
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POWER FLOOR PLAN
SCALE: 1/8"=1'-0"



ENLARGED LIGHTED SLOT/WINDOW PLAN
NOT TO SCALE



LIGHTING FLOOR PLAN
SCALE: 1/8"=1'-0"

CONSTRUCTION NOTES

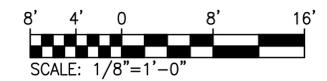
- ① EXISTING PANEL CP3 – 208Y/120V, 3Ø.
- ② DISCONNECT AND TEMPORARILY REMOVE ELECTRICAL DEVICE TO FACILITATE EXTERIOR WALL WORK. REINSTALL DEVICE AFTER COMPLETION OF EXTERIOR WALL PANEL WORK.
- ③ EXISTING OUTDOOR CONDENSING UNIT TO REMAIN.
- ④ EXISTING FUSED DISCONNECT FOR THE OUTDOOR CONDENSING UNIT. DISCONNECT AND RECONNECT AS REQUIRED. COORDINATE/REVISE THE EXISTING EXPOSED CONDUIT WITH NEW WALL PANEL WORK.
- ⑤ EXISTING OUTDOOR RECEPTACLE. DISCONNECT AND REMOVE EXISTING OUTLET AND REPLACE WITH A NEW GFCI AND LOCKABLE WEATHERPROOF COVER (INTERMATIC #WP1010MXD). COORDINATE AND REVISE (AS REQUIRED) THE EXISTING EXPOSED CONDUIT WITH NEW WALL PANEL.
- ⑥ INSTALL (2) SL1 FIXTURES FOR SIGN LIGHTING. SEE ARCHITECTURAL DRAWING A2.00 DETAILS 2 AND 3 FOR DETAILS. ELECTRICAL CONTRACTOR SHALL CONCEAL ALL CONDUIT. PROVIDE MOUNTING CLIPS PER MANUFACTURER'S RECOMMENDATIONS.
- ⑦ INSTALL (2) SL2 FIXTURES PER LIGHTED SLOT WINDOW. LOCATE THE (2) SL2 FIXTURES VERTICALLY TOWARDS THE BACK EDGE OF EACH POCKET FACING THE CENTER. SEE DETAIL SHEET A60.01 DETAILS 1 AND 1A.
- ⑧ PROVIDE NEW INTERMATIC DIGITAL ASTRONOMIC TIMECLOCK CONTROLLER WITH 2-20A RELAY CIRCUIT FOR NEW SIGN LIGHTING AND LIGHTED SLOTS.
- ⑨ CONNECT NEW EXTERIOR SIGN LIGHT FIXTURES TO A SPARE 1P-20A CIRCUIT BREAKER IN PANEL CP3.
- ⑩ REMOVE AND REINSTALL EXISTING INTERIOR LIGHT SWITCH, RECEPTACLE OUTLET AND TELECOMM WALL DEVICES AND COVER PLATES TO FACILITATE SHEET ROCK WORK.
- ⑪ INSTALL THE REMOTE LED DRIVERS FOR THE SL1 AND SL2 FIXTURES INSIDE THE EXISTING UTILITY ROOM. COORDINATE EXACT QUANTITIES OF DRIVER WITH THE MANUFACTURER. ROUTE THE LIGHTING CIRCUIT THROUGH THE TIMECLOCK LIGHTING CONTROLS.
- ⑫ INSTALL (2) 0-10V DIMMER SWITCHES FOR THE SIGN LIGHTING AND LIGHTED SLOT WINDOW OUTPUT ADJUSTMENTS. LOCATE INSIDE THE UTILITY ROOM.
- ⑬ PROVIDE NEW 2" CONDUIT FOR FUTURE AV. CONCEAL CONDUIT THROUGH EXISTING WALL. COORDINATE CONDUIT ROUTING AND INSTALLATION WITH EXISTING WALL STUDS.
- ⑭ STUB CONDUIT INSIDE EXISTING AV/STORAGE ROOM.
- ⑮ INSTALL FLUSHED 6"x6"x4" WALL JUNCTION BOX AT 18" AFF. PROVIDE BLANK COVERPLATE.
- ⑯ INSTALL FLUSHED JUNCTION BOX ON EXISTING RAISED PLATFORM. COORDINATE EXACT LOCATION WITH THE OWNER IT PERSONNEL.
- ⑰ ALL WIRING FOR NEW LIGHT FIXTURES SHALL BE IN CONDUIT. CONCEAL CONDUITS THROUGH EXISTING STUD WALLS.

LIGHTING FIXTURE SCHEDULE

SYMBOL	DESCRIPTION	LAMPS	VOLTS WATTS		MOUNTING & REMARKS
			VOLTS	WATTS	
SL1	MODALIGHT FIXTURE: SNX-F-SF-4000k-22FT-CLIP-MP17 DRIVER: MP17	LED 4.68W/FT	24V	150W	22' LED SIGN LIGHT FIXTURE. PROVIDE REMOTE DRIVER TO BE MOUNTED INSIDE THE EXISTING UTILITY ROOM. PROVIDE FACTORY SHOP DRAWINGS FOR ELECTRICAL ENGINEERS APPROVAL.
SL2	MODALIGHT FIXTURE: SNX-F-SF-4000k-8FT-CLIP-MP17 DRIVER: MP17	LED 4.68W/FT	24V	150W	8' LED SIGN LIGHT FIXTURE. PROVIDE REMOTE DRIVER TO BE MOUNTED INSIDE THE EXISTING UTILITY ROOM. PROVIDE FACTORY SHOP DRAWINGS FOR ELECTRICAL ENGINEERS APPROVAL.

ELECTRICAL LEGEND

SYMBOL	DESCRIPTION
RECEPTACLES	
	DUPLEX RECEPTACLE (G INDICATES GROUND FAULT CIRCUIT INTERRUPTER, W INDICATED WHILE-IN-USE, WEATHERPROOF OUTLET COVER)
EQUIPMENT AND WIRING	
	DEDICATED CONDUIT HOMERUN TO PANEL & CIRCUIT NUMBERS AS INDICATED ON PLANS
	RACEWAY CONCEALED IN WALL OR CEILING
	RACEWAY CONCEALED UNDERGROUND OR UNDER FLOOR SLAB
	MARKS INDICATE NUMBER OF #12 AWG UNLESS NOTED OTHERWISE
	GROUNDING CONDUCTOR
	FLEXIBLE CONDUIT
	JUNCTION BOX – SIZE PER CODE
	MOTOR CONNECTION
	FUSED DISCONNECT SWITCH
	EXISTING 208Y/120V PANELBOARD TO REMAIN
MISCELLANEOUS	
	CONSTRUCTION NOTES
	W INDICATES WEATHERPROOF FOR ALL DEVICES, PROVIDE LOCKING COVER ON RECEPTACLES.
	ALL DEVICES WITH LIGHT LINE WEIGHT INDICATES EXISTING TO REMAIN
	ALL DEVICES WITH DASH LINE INDICATES EXISTING TO BE REMOVED AND REINSTALLED



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